

**From:** [REDACTED]  
**To:** [Local Dev. Framework](#)  
**Subject:** Local Plan Publication Stage Representation  
**Date:** 12 February 2018 17:43:05  
**Attachments:** [image001.gif](#)  
[image002.gif](#)  
[Craven LP Policy SP6.LA004.pdf](#)

---

Please find attached the first of three completed representation forms submitted on behalf of our client, the Langcliffe Hall Estate. It relates to Policy SP6 and Site LA004.

**[REDACTED] BSc FRICS FAAV ACI Arb**  
RICS Registered Valuer  
Partner  
For P Wilson & Company LLP

t: [REDACTED]  
f: [REDACTED]  
m: [REDACTED]  
e: [REDACTED]  
w: [www.pwcsurveyors.co.uk](http://www.pwcsurveyors.co.uk)

cid:680032415@08102013-2FC9



P Wilson & Company LLP is a limited liability partnership registered in England & Wales with registration number OC312492. This message may contain privileged and confidential information and is intended for the named recipient/addressee only. If you are not the named recipient/addressee you should not disseminate, distribute, copy or store this email or its attachment in any medium and should please notify the sender immediately and delete the email and its attachment (if any) from your systems. P Wilson & Company LLP does not accept any liability/responsibility for any changes to an email which occur after it has been sent and cannot guarantee that any attachments are virus free or compatible with other systems and these should therefore be checked prior to opening.

Our Terms of Business can be downloaded here [http://pwcsurveyors.co.uk/wp-content/uploads/2016/02/PWC\\_tc\\_v11.pdf](http://pwcsurveyors.co.uk/wp-content/uploads/2016/02/PWC_tc_v11.pdf)

# Craven Local Plan 2012-2032 (outside the Yorkshire Dales National Park)

## Publication Stage Representation Form

Publication draft Craven Local Plan public representations period runs from Tuesday 2<sup>nd</sup> January 2018 – Tuesday 13<sup>th</sup> February 2018.

Regulation19-Townand Country Planning (Local Planning) (England) Regulations 2012

---

**Representations must be received no later than 5pm on Tuesday 13<sup>th</sup> February 2018**

Please return completed forms to:

Planning Policy, Craven District Council, 1 Belle Vue Mills, Broughton Road, Skipton, North Yorkshire, BD23 1FJ

Or by email to: [localplan@cravencd.gov.uk](mailto:localplan@cravencd.gov.uk)

For further information please contact the Council's Planning Policy Team via email at the address set out above or telephone 01756 706472

---

This form has 2 parts: Part A for personal details and Part B for your representation(s). **Please fill in a separate form for each representation you wish to make.**

Please note each representation must be signed and dated

---

## Part A

### Section 1: Personal Details

<b>Title :</b>	
<b>First Name:</b>	
<b>Last Name:</b>	
<b>Job Title (where relevant):</b>	
<b>Organisation (where relevant):</b>	Langcliffe Hall Estate
<b>Address 1:</b>	Langcliffe Hall
<b>Address 2:</b>	Settle
<b>Address 3:</b>	North Yorkshire

<b>Address 4:</b>	
<b>Postcode:</b>	BD24 9LY
<b>Telephone:</b>	██████████
<b>Email:</b>	████████████████████

## Section 2: Agent Details

Please supply the name, address, telephone number and e-mail of any planning agent you have working on your behalf.

<b>Agent name:</b>	██████████
<b>Address:</b>	P Wilson & Company LLP Chartered Surveyors Burlington House 10-11 Ribblesdale Place Preston PR1 3NA
<b>Telephone number:</b>	██████████
<b>Email:</b>	████████████████████

---

## Part B

Please fill in a separate form for each representation

The Local Plan will be examined by an independent inspector whose role is to assess whether the plan has been prepared in accordance with the legal and procedural requirements, and whether it is sound.

## Section 3

<b>Name or Organisation:</b>	Langcliffe Hall Estate
<b>To which part of the Local Plan does this representation relate?</b>	
<b>Section and Paragraph</b>	Section 4
<b>Policy</b>	Draft Policy SP6 – Text box for Site Ref: LA004
<b>Policies Map</b>	Inset 4

#### Section 4: Legal Compliance & Duty to Cooperate

Do you consider the Local Plan is: (tick as appropriate)		
	Yes	No
1. Legally Compliant	✓	
2. Sound		✓
3. In Compliance with the Duty to Cooperate	✓	

Please refer to the Council's representation guidance notes at

<http://www.cravendc.gov.uk/newlocalplan>

#### Section 5: Details of Representation

**Please give details of why you consider the Local Plan is not legally compliant or is unsound or fails to comply with the Duty to Cooperate. Please be as precise as possible.**

**If you wish to support the legal compliance or soundness of the Local Plan or its compliance with the Duty to Cooperate, please also use this box to set out your comments.**

- Whilst a housing allocation in this 'gateway' location is supported, its physical extent is unnecessarily restricted.
- The northern boundary appears to have been drawn so as to coincide with an existing field boundary to the north of Barrel Sykes Farm', which is on the opposite (east) side of the railway embankment. The more relevant visual reference is the Watershed Mill complex on the opposite (west) side of Langcliffe Road.
- The currently proposed northern boundary is therefore inappropriate and unjustified. It does not make an effective use of this housing allocation.

(Continue on a separate sheet if necessary. Please remember to include on any separate sheets the name/organisation and details of which section, paragraph, policy or element of the policies map your representation relates)

## Section 6: Proposed Modifications to the local plan

Please set out what modification(s) you consider necessary to make the Local Plan legally compliant or sound, having regard to the test you have identified above where this relates to soundness. (NB Please note that any non-compliance with the Duty to Cooperate is incapable of modification at examination) You will need to say why this modification will make the Local Plan legally compliant or sound. It will be helpful if you are able to put forward your suggested revised wording of any policy or text. Please be as precise as possible.

- The Site Allocation Area should be increased by means of a northerly extension to the existing dry stone wall which more or less aligns with the northern extent of the Watershed Mill premises to the west. This would increase the site area to 0.81ha or thereabouts.
- The following modification to the text box in respect of Site LA004 are therefore necessary to make the Local Plan sound:

'Site Allocation Area: 1.745 ha (net developable area ~~0.557ha~~ 0.81ha)'

'Number of Dwellings Generated: ~~18~~ 26 dwellings (~~0.557ha~~ 0.81 ha x 32 dwellings per ha)'

'Development Principles:

- 'The existing dry stone boundary walls will be retained. ~~A new dry stone wall will be created east to west across the northern boundary of the site to enclose the field to the north of the site opposite Watershed Mill and to establish a new urban edge to the town.'~~

(NB no modifications are proposed to the other bulletpoints of the Policy)

- In addition to the above Modifications to the text of the Policy, the Proposals Map (Inset 4) will need to be modified in respect of the position of the northern boundary of the site.

(Continue on a separate sheet if necessary. Please remember to include on any separate sheets the name/organisation and details of which section, paragraph, policy or element of the policies map your representation relates)

**Please note** your representation should cover succinctly all the information, evidence and supporting information necessary to support/justify the representation and the suggested modification, as there will not be a subsequent opportunity to make further representations based on the original representation at publication stage.

After the representations period of the Publication Craven Local Plan has closed, further submissions will only be at the request of the Inspector, based on the matters and issues debated at the examination.

## Section 7: Participation at the Examination

<b>If your representation is seeking a modification, do you consider it necessary to participate at the oral part of the examination? (please select one answer with a tick)</b>	
Yes, I wish to participate at the oral examination	✓
No, I do not wish to participate at the oral examination	
<b>If you wish to participate at the oral part of the examination, please outline why you consider this to be necessary:</b>	
There will need to be a thorough examination of the Council's justification for the proposed location of the northern boundary of this site, which is likely to involve questioning of the Council's landscape representative.	

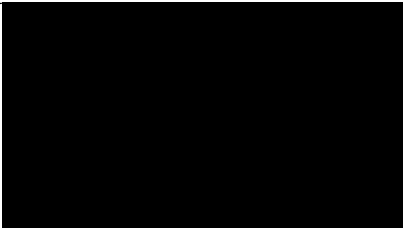
**Please note** the Inspector will determine the most appropriate procedure to adopt to hear those who have indicated that they wish to participate at the oral part of the examination.

### Section 8: Being Kept Informed

<b>Would you like to be kept informed of the progress of the Craven Local Plan through to adoption? (please select one answer with a tick)</b>	
Yes, I want to be informed	✓
No, I don't want to be informed	

**Please note** that if you do not wish to be kept informed of the progress of the Craven Local Plan through to adoption, you will not receive any subsequent updates relating to the Local Plan examination etc.

### Section 9: Signature & Date of Representation

<b>Please sign and date below:</b>	
Signature	
Date	12 February 2018

After the end of the representation period the Council will submit all individual representations received to the Secretary of State, together with a summary of the main issues raised during the representations period.

Information that you provide in your representation, including personal information, may be published or disclosed in accordance with the Environmental Information Regulations 2004 (EIR), or the Freedom of Information Act (FoIA). If you want the information that you provide to be treated as confidential, please tell us, but be aware that under the EIR and FoIA, we cannot guarantee confidentiality.

However, if you are submitting representations as an individual, the Council will process your personal data in accordance with the Data Protection Act 1998, and this means that if you request confidentiality, your personal information will not be disclosed to third parties.

**If you wish your personal details to be treated in confidence and not published please tick the box below:**

I wish to request that the personal details submitted with this representation are treated in confidence and not published.	<input type="checkbox"/>
---	--------------------------

**Please explain below, why you have made this request:**

**Craven District Council** | 1 Belle Vue Square | Skipton | BD23 1FJ |  
[www.cravenc.gov.uk](http://www.cravenc.gov.uk)

Planning Policy Team | 01756 706472 | [localplan@cravenc.gov.uk](mailto:localplan@cravenc.gov.uk)



**If you would like to have this information in a way that's better for you, please telephone 01756 700600.**





**From:** [REDACTED]  
**To:** [Local Dev. Framework](#)  
**Subject:** Local Plan Publication Stage Representation  
**Date:** 12 February 2018 17:50:19  
**Attachments:** [image001.gif](#)  
[image002.gif](#)  
[Craven LP Policy SP6.SG079.pdf](#)  
[001 Landscape and Visual Appraisal v2 R.pdf](#)

---

Please find attached the second of three completed representation forms submitted on behalf of our client, the Langcliffe Hall Estate. It relates to Policy SP6 and Site SG079. Also attached is a copy of a Landscape & Visual Appraisal to which reference is made.

**[REDACTED] BSc FRICS FAAV ACI Arb**  
RICS Registered Valuer  
Partner  
For P Wilson & Company LLP

t: [REDACTED]  
f: [REDACTED]  
m: [REDACTED]  
e: [REDACTED]  
w: [www.pwcsurveyors.co.uk](http://www.pwcsurveyors.co.uk)

cid:680032415@08102013-2FC9



P Wilson & Company LLP is a limited liability partnership registered in England & Wales with registration number OC312492. This message may contain privileged and confidential information and is intended for the named recipient/addressee only. If you are not the named recipient/addressee you should not disseminate, distribute, copy or store this email or its attachment in any medium and should please notify the sender immediately and delete the email and its attachment (if any) from your systems. P Wilson & Company LLP does not accept any liability/responsibility for any changes to an email which occur after it has been sent and cannot guarantee that any attachments are virus free or compatible with other systems and these should therefore be checked prior to opening.

Our Terms of Business can be downloaded here [http://pwcsurveyors.co.uk/wp-content/uploads/2016/02/PWC\\_tc\\_v11.pdf](http://pwcsurveyors.co.uk/wp-content/uploads/2016/02/PWC_tc_v11.pdf)

# Craven Local Plan 2012-2032 (outside the Yorkshire Dales National Park)

## Publication Stage Representation Form

Publication draft Craven Local Plan public representations period runs from Tuesday 2<sup>nd</sup> January 2018 – Tuesday 13<sup>th</sup> February 2018.

Regulation19-Townand Country Planning (Local Planning) (England) Regulations 2012

---

**Representations must be received no later than 5pm on Tuesday 13<sup>th</sup> February 2018**

Please return completed forms to:

Planning Policy, Craven District Council, 1 Belle Vue Mills, Broughton Road, Skipton, North Yorkshire, BD23 1FJ

Or by email to: [localplan@cravencd.gov.uk](mailto:localplan@cravencd.gov.uk)

For further information please contact the Council's Planning Policy Team via email at the address set out above or telephone 01756 706472

---

This form has 2 parts: Part A for personal details and Part B for your representation(s). **Please fill in a separate form for each representation you wish to make.**

Please note each representation must be signed and dated

---

## Part A

### Section 1: Personal Details

<b>Title :</b>	
<b>First Name:</b>	
<b>Last Name:</b>	
<b>Job Title (where relevant):</b>	
<b>Organisation (where relevant):</b>	Langcliffe Hall Estate
<b>Address 1:</b>	Langcliffe Hall
<b>Address 2:</b>	Settle
<b>Address 3:</b>	North Yorkshire

<b>Address 4:</b>	
<b>Postcode:</b>	BD24 9LY
<b>Telephone:</b>	██████████
<b>Email:</b>	████████████████████

## Section 2: Agent Details

Please supply the name, address, telephone number and e-mail of any planning agent you have working on your behalf.

<b>Agent name:</b>	██████████
<b>Address:</b>	P Wilson & Company LLP Chartered Surveyors Burlington House 10-11 Ribblesdale Place Preston PR1 3NA
<b>Telephone number:</b>	██████████
<b>Email:</b>	████████████████████

## Part B

Please fill in a separate form for each representation

The Local Plan will be examined by an independent inspector whose role is to assess whether the plan has been prepared in accordance with the legal and procedural requirements, and whether it is sound.

## Section 3

Name or Organisation:	Langcliffe Hall Estate
<b>To which part of the Local Plan does this representation relate?</b>	
Section and Paragraph	Section 4
Policy	Draft Policy SP6 – Text box for Site Ref: SG079
Policies Map	Inset 4

#### Section 4: Legal Compliance & Duty to Cooperate

Do you consider the Local Plan is: (tick as appropriate)		
	Yes	No
1. Legally Compliant	✓	
2. Sound		✓
3. In Compliance with the Duty to Cooperate	✓	

Please refer to the Council's representation guidance notes at

<http://www.cravendc.gov.uk/newlocalplan>

#### Section 5: Details of Representation

**Please give details of why you consider the Local Plan is not legally compliant or is unsound or fails to comply with the Duty to Cooperate. Please be as precise as possible.**

**If you wish to support the legal compliance or soundness of the Local Plan or its compliance with the Duty to Cooperate, please also use this box to set out your comments.**

- The treatment of, and Development Principles to be applied to, Site Ref: SG079 are neither justified nor effective.
- The proposed designation of a Green Infrastructure Area within the Site Allocation Area (in respect of which a separate representation has been made) is arbitrary and without proper justification, and it reduces the net developable area and thus the number of dwellings which the site can deliver.
- This is not an effective use of this housing allocation.
- A Landscape and Visual Appraisal (Wardell Armstrong, February 2017) has been supplied to the Council previously. This makes recommendations as to the extent of landscape measures which would be necessary and appropriate for this site. A copy of that report is appended to this representation.

(Continue on a separate sheet if necessary. Please remember to include on any separate sheets the name/organisation and details of which section, paragraph, policy or element of the policies map your representation relates)

### Section 6: Proposed Modifications to the local plan

Please set out what modification(s) you consider necessary to make the Local Plan legally compliant or sound, having regard to the test you have identified above where this relates to soundness. (NB Please note that any non-compliance with the Duty to Cooperate is incapable of modification at examination) You will need to say why this modification will make the Local Plan legally compliant or sound. It will be helpful if you are able to put forward your suggested revised wording of any policy or text. Please be as precise as possible.

- Whilst it is acknowledged that the development of this site will, in its layout and design, have to incorporate, inter alia, appropriate landscape mitigation measures, the requirement for a Green Infrastructure Area (and thus the application of Draft Policy ENV5) is unjustified.
- A requirement that any development of the site shall have regard to, and mitigate any impact on, the National Park is addressed sufficiently by Draft Policy ENV1 Paragraph (d).
- The requirements to retain specific views of Barrel Sykes Farm and an undesignated former mill chimney are unnecessarily restrictive and without justification.
- The following modifications to the text box in respect of Site SG079 are therefore necessary to make the Local Plan sound:

'Site Allocation Area: 1.745 ha (net developable area ~~0.802ha~~ 1.096 ha (minimum))'

'Number of Dwellings Generated (minimum): ~~26~~ 35 dwellings (~~0.802ha~~ 1.096 ha minimum x 32 dwellings per ha)'

#### 'Development Principles:

- The site is a greenfield site in a prominent location on the edge of Settle. Development proposals for this site will incorporate appropriate landscape mitigation(s) including a green infrastructure corridor along the eastern and northern boundaries of the site measures to mitigate impact on the

National Park and the adjacent grade II listed building, Barrel Sykes Farm. ~~The layout of the site will be designed to leave gaps through the site from east to west to retain views from the National Park to Barrell Sykes Farm and the undesignated heritage asset of Watershed Mill chimney beyond. The layout of the site will also ensure that views from Town Head Way north towards Barrel Sykes Farm and the Watershed Mill chimney are retained.'~~

- ~~'The existing dry stone boundary walls will be retained. A new dry stone wall will be created east to west across the site to enclose the northern strip of green infrastructure in order to maintain the setting of the adjacent heritage asset of the grade II listed Barrel Sykes Farm and to provide a clear definable edge to the development.'~~

(NB no modifications are proposed to the other bulletpoints of the Policy)

- In addition to the above Modifications to the text of the Policy, the Proposals Map (Inset 4) will need to be modified by the deletion of the Green Infrastructure Area designation.

(Continue on a separate sheet if necessary. Please remember to include on any separate sheets the name/organisation and details of which section, paragraph, policy or element of the policies map your representation relates)

**Please note** your representation should cover succinctly all the information, evidence and supporting information necessary to support/justify the representation and the suggested modification, as there will not be a subsequent opportunity to make further representations based on the original representation at publication stage.

After the representations period of the Publication Craven Local Plan has closed, further submissions will only be at the request of the Inspector, based on the matters and issues debated at the examination.

### Section 7: Participation at the Examination

**If your representation is seeking a modification, do you consider it necessary to participate at the oral part of the examination? (please select one answer with a tick)**

Yes, I wish to participate at the oral examination

✓

No, I do not wish to participate at the oral examination

**If you wish to participate at the oral part of the examination, please outline why you consider this to be necessary:**

There will need to be a thorough examination of the Council's justification for the imposition of a Green Infrastructure Area requirement on this site, which is likely to involve questioning of the Council's landscape representative.

--

**Please note** the Inspector will determine the most appropriate procedure to adopt to hear those who have indicated that they wish to participate at the oral part of the examination.

### Section 8: Being Kept Informed

<b>Would you like to be kept informed of the progress of the Craven Local Plan through to adoption? (please select one answer with a tick)</b>	
Yes, I want to be informed	✓
No, I don't want to be informed	

**Please note** that if you do not wish to be kept informed of the progress of the Craven Local Plan through to adoption, you will not receive any subsequent updates relating to the Local Plan examination etc.

### Section 9: Signature & Date of Representation

<b>Please sign and date below:</b>	
Signature	
Date	12 February 2018

After the end of the representation period the Council will submit all individual representations received to the Secretary of State, together with a summary of the main issues raised during the representations period.

Information that you provide in your representation, including personal information, may be published or disclosed in accordance with the Environmental Information Regulations 2004 (EIR), or the Freedom of Information Act (FoIA). If you want the information that you provide to be treated as confidential, please tell us, but be aware that under the EIR and FoIA, we cannot guarantee confidentiality.

However, if you are submitting representations as an individual, the Council will process your personal data in accordance with the Data Protection Act 1998, and this means that if you request confidentiality, your personal information will not be disclosed to third parties.

**If you wish your personal details to be treated in confidence and not published please tick the box below:**

I wish to request that the personal details submitted with this representation are treated in confidence and not published.

**Please explain below, why you have made this request:**

**Craven District Council** | 1 Belle Vue Square | Skipton | BD23 1FJ |  
[www.cravenc.gov.uk](http://www.cravenc.gov.uk)

Planning Policy Team | 01756 706472 | [localplan@cravenc.gov.uk](mailto:localplan@cravenc.gov.uk)



INVESTOR IN PEOPLE



**If you would like to have this information in a way that's better for you, please telephone 01756 700600.**





**LANGCLIFFE HALL ESTATE**

**Land North of Town Head Way / South of Barrel Sykes, Settle**

**Landscape and Visual Appraisal**

**February 2017**

**DATE ISSUED:** February 2017  
**JOB NUMBER:** NT13041  
**REPORT NUMBER:** 001

**LANGCLIFFE HALL ESTATE**

**Land North of Town Head Way / South of Barrel Sykes, Settle**

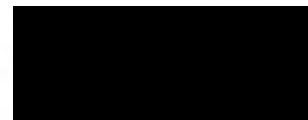
**Landscape and Visual Appraisal**

**February 2017**

**PREPARED BY:**



Principal Landscape Architect



**APPROVED BY:**



Technical Director



*This report has been prepared by Wardell Armstrong LLP with all reasonable skill, care and diligence, within the terms of the Contract with the Client. The report is confidential to the Client and Wardell Armstrong LLP accepts no responsibility of whatever nature to third parties to whom this report may be made known.*

*No part of this document may be reproduced without the prior written approval of Wardell Armstrong LLP.*



Wardell Armstrong is the trading name of Wardell Armstrong LLP, Registered in England No. OC307138.

Registered office: Sir Henry Doulton House, Forge Lane, Etruria, Stoke-on-Trent, ST1 5BD, United Kingdom

UK Offices: Stoke-on-Trent, Birmingham, Cardiff, Carlisle, Edinburgh, Greater Manchester, London, Newcastle upon Tyne, Penryn, Sheffield, Truro, West Bromwich. International Offices: Almaty, Moscow

ENERGY AND CLIMATE CHANGE  
ENVIRONMENT AND SUSTAINABILITY  
INFRASTRUCTURE AND UTILITIES  
LAND AND PROPERTY  
MINING AND MINERAL PROCESSING  
MINERAL ESTATES AND QUARRYING  
WASTE RESOURCE MANAGEMENT

## CONTENTS

1	INTRODUCTION .....	1
1.1	Site location .....	1
1.2	The Proposed Development .....	1
2	METHODOLOGY.....	1
3	LANDSCAPE APPRAISAL .....	2
3.1	Landscape Character Context .....	2
3.2	Landscape Character of the surrounding National Character Area 21 Yorkshire Dales .....	3
3.3	Landscape and Planning Considerations .....	17
4	VISUAL APPRAISAL.....	20
4.1	Background .....	20
4.2	Appraisal of Key Views.....	21
4.3	Viewpoint 1: View north from Town Head Way (Figure 5) .....	21
4.4	Viewpoint 2: View north-west from Highway (Figure 6).....	23
4.5	Viewpoint 3: View south-west from Highway (Figure 7).....	24
4.6	Viewpoint 4: View from the Public Right of Way (Pennine Journey) (Figure 8).....	26
4.7	Viewpoint 5: View east-south-east from Meadow Rise, Giggleswick (Figure 9).....	27
5	CONCLUSION .....	29
5.1	Summary and overview of potential landscape effects .....	29
5.2	Potential Effects on Visual Amenity.....	32
5.3	Summary and overview of Viewpoints Appraisal.....	33
5.4	Overall Conclusion .....	35

## TABLES

Table 1: Viewpoint locations and potential effects at completion and after mitigation .....	32
---	----

## FIGURES

Figure 1	Zone of Theoretical Visibility
Figure 2	Landscape Designations and Sensitive Receptors
Figure 3	Access Network
Figure 4	Landscape Character Areas
Figure 5	Viewpoint 1, View north from Town Head Way
Figure 6	Viewpoint 2, View north-west from Highway
Figure 7	Viewpoint 3, View south-west from Highway

Figure 8 Viewpoint 4, View west from PROW (Pennine Journey)

Figure 9 Viewpoint 5, View east from Meadow Rise

## **1 INTRODUCTION**

### **1.1 Site location**

1.1.1 The proposed residential site is located to the north and east of existing housing in Settle. The proposed site lies just north of the urban edge, with trees, a railway corridor and existing housing to the west and agricultural land to the north and east. A minor road known as 'Highway' skirts the eastern boundary of the proposed site bounded by dry stone walls. Figure 1 shows the location of the site relative to the adjacent town.

### **1.2 The Proposed Development**

1.2.1 The details of the proposed development have not yet been finalised but would typically comprise two storey residential dwellings. It is assumed for the purposes of this landscape and visual appraisal that the proposed housing would fully occupy the area shown in red on the associated plans (Figures 1 to 5). This landscape and visual appraisal will be used to inform the design and layout of the proposed housing masterplan.

## **2 METHODOLOGY**

2.1.1 This study has been carried out in line with current good practice and methodology. This study acknowledges the status and presence of listed properties in the study area but is essentially focussed on landscape and visual matters. While references to the Settle Conservation Area are included in the appraisal of visual effects, this appraisal does not consider effects on the setting of listed properties and / or effects on cultural heritage.

2.1.2 This document is intended to firstly consider the landscape and visual context of the existing site and adjacent area. Secondly, to consider the potential for development and the appropriateness of the location, which is carefully considered in relation to the visibility of the site and the landscape character of the site and the surrounding area.

2.1.3 The study area and viewpoints included in this report were selected by OS map analysis, digital Zone of Theoretical Visibility (ZTV) mapping and field work (refer to Figure 1). During the field work, panoramic viewpoint photographs were taken at 1.5m above ground level using a (50mm fixed lens) digital SLR camera and tripod.

- 2.1.4 Desktop research has been carried out in order to understand the landscape and visual context of the proposed development. This was based on reference documents and online resources as referenced in footnotes.
- 2.1.5 Terms used in this report are derived from the Glossary of Terms, pages 155 to 159 of the Guidelines for Landscape and Visual Impact Assessment (Third Edition, 2013), Landscape Institute and Institute of Environmental Management & Assessment (GLVIA 3).<sup>1</sup>
- 2.1.6 From the 2013 guidance, the determination of landscape and visual sensitivity considers landscape value and the susceptibility of the landscape receptor to the type of change proposed; the value of views identified and the susceptibility of visual receptors to the type of change proposed. It is advised that there should be a reliance on professional judgement rather than the results of potentially complex, pre-determined formulae and matrices.

### **3 LANDSCAPE APPRAISAL**

#### **3.1 Landscape Character Context**

3.1.1 The site lies within an overarching National Character Area (NCA 21) Yorkshire Dales<sup>2</sup>, which covers a wide tract of land beyond the extent of the 2km radius study area. The study area covers an area of land which has been appraised in two separate Landscape Character Appraisals and Assessments, published by Craven District Council<sup>3</sup> and North Yorkshire County Council.<sup>4</sup> The corresponding Landscape Character Areas and Landscape Character Types are shown on Figure 4, Landscape Character Areas. For the purpose of this study, the most detailed information relating to character types and areas has been used to appraise the baseline landscape, as well as site work. The site is located within the following character areas and types:

- National Landscape Character Area: NCA 21 *Yorkshire Dales*
- Craven District Landscape Character Type (LCT): *Valley Pasture Landscapes* and sub-type 6 *Settled Valley*

---

<sup>1</sup> Guidelines for Landscape and Visual Assessment (Third Edition 2013, prepared by the Landscape Institute and IEMA)

<sup>2</sup> <http://publications.naturalengland.org.uk/publication/4674002?category=587130>

<sup>3</sup> Craven District Outside The Yorkshire Dales National Park Boundary and Forest of Bowland AONB Landscape Appraisal Landscape Design Associates October 2002 <http://www.cravenc.gov.uk/article/4467/Landscape-character-appraisal>

<sup>4</sup> North Yorkshire and York Landscape Characterisation Project by Chris Blandford Associates May 2011 <http://www.northyorks.gov.uk/article/25431/Landscape-character-assessment>

- North Yorkshire County Council Landscape Character Type: *Farmed Dale*

### **3.2 Landscape Character of the surrounding National Character Area 21 Yorkshire Dales**

3.2.1 The key characteristics of the area within 2km of the site are identified as follows:

#### ***Key Characteristics***

- *Large-scale upland landscape of high, exposed moorland, with blanket bog and heath, dissected by dales which are often deep and have their own distinctive character.*
- *Plateaux of high moorland overlying Yoredale Group geology in the north and Millstone Grit in the east, forming typically stepped profiles to the dale sides and dramatic weathered features such as Brimham Rocks.*
- *Wide, glaciated valleys, with rough grazing on upper slopes, permanent pastures on dale sides and fields cut for hay and silage in the more fertile valley bottoms.*
- *Large numbers of characteristic stone field barns, particularly in Swaledale and Wensleydale, and strong patterns of drystone walls, with very large, rectangular enclosures on fell tops, much smaller enclosures in dales, and often older, irregular patterns around settlements.*
- *Evidence of historic land use from prehistoric times through to the present still highly visible as a result of relatively low levels of cultivation and development.*

#### ***Craven District (Outside the Yorkshire Dales National Park Boundary) and North Yorkshire and York Landscape Characterisation Project October 2002***

##### *Landscape Character Type Valley Pasture Landscapes and Sub-Type 6 Settled Valley*

3.2.2 The level of detail provided in the Craven District Landscape Character Appraisal is confined to Landscape Character Types only.

3.2.3 Landscape Character Type *Valley Pasture Landscapes* and Sub-Type 6 *Settled Valley*, which includes the north-western part of the site, comprises an elongated area of land to the north of the urban area, and is described as follows:

#### *Key Characteristics of Settled Valley:*

- *“Gently sloping valley with land rising steeply to each side.*
- *Transition between upland limestone landscape character of Yorkshire Dales National Park and flat expansive floodplain.*

- *Pasture enclosed by dry-stone walls.*
- *Well settled valley landscape with settlement edge land uses such as playing fields and intermittent development.”*

***Sensitivity to change of the site and surrounding (LCT) Valley Pasture Landscapes and Sub-Type 6 Settled Valley***

*Landscape Value*

3.2.4 The landscape is described as having a “*moderate – weak*” character in the Craven District Landscape Character Appraisal and is also described as having a ‘declining’ landscape condition. During the fieldwork it was apparent that there had been a small degree of change, specifically the development of land for housing to the south of the proposed site, thus extending the settlement of Settle northwards into this character type. The land within this character type has been attributed ‘Special Landscape Area’ status, in recognition of “*the generally unspoilt nature of the countryside and the variety of high quality landscape types*”.<sup>5</sup> Land to the east of the site is within the Yorkshire Dales National Park and land to the west of Settle and Giggleswick is within an Area of Outstanding Natural Beauty (AONB). There is also a Conservation Area to the south of the site and therefore the value of the landscape within the site and the surrounding *Settled Valley* Character Sub-Type is considered medium.

*Susceptibility to Change*

3.2.5 The Craven Landscape Character Appraisal recognises that this character type comprises “*a well settled valley landscape with settlement edge land uses such as playing fields and intermittent development*” and states that “*the valley forms a transport route with a railway and road running along the valley side.*” Forces for Change have been considered in the Landscape Character Appraisal, in particular the vulnerability of the landscape to development of the built environment, road and rail infrastructure and recreational pressures and facilities. It is also acknowledged that this landscape character type is sensitive to change, as a result of development along the road and rail corridor, in the context of the nearby National Park and the town of Settle. As advised in GLVIA 3, it is relevant to consider the susceptibility of the landscape receptor ‘*Settled Valley* Character Sub-Type’ to the type of development

---

<sup>5</sup> Para 4.2 of the justification text for policy ENV4 of the adopted Craven District (Outside the Yorkshire Dales National Park) Local Plan, July 1999



proposed. The site lies adjacent to a rail corridor to the west and an area of housing to the south and therefore the landscape already has elements of similar character close to the site. The susceptibility of this landscape to change of the type proposed would therefore be medium.

*Sensitivity of the Settled Valley LCT*

- 3.2.6 Given the medium value of the landscape within the site and the surrounding character sub-type, and a medium susceptibility to the change as proposed, to a housing development, it is considered that the landscape sensitivity is medium, for this LCT. This is mainly due to the incidence of existing housing close to the site and the settled nature of this character type.

*Landscape Effects on the site and surrounding (LCT) Valley Pasture Landscapes and Sub-Type 6 Settled Valley*

- 3.2.7 At site level, the magnitude of change from the proposed development would be high as there would be a fundamental change from an agricultural field to a developed area of housing with roads, footpaths and new urban landscape elements. With a high magnitude of change on a landscape of medium sensitivity, landscape effects would be moderate / substantial and adverse at completion of the development.
- 3.2.8 For areas outside of the site and in the context of the *Settled Valley* Character Sub-Type the magnitude of change, considering the existing urban context to the south and the size of this character type would be low-medium. With a low-medium magnitude of change on a landscape of medium sensitivity, the landscape effects on the wider LCT would be slight to moderate and adverse at completion of the development.

***Landscape Character Assessment of North Yorkshire by Chris Blandford Associates (CBA) May 2011***

*North Yorkshire County Council Landscape Character Type: Farmed Dale*

- 3.2.9 As shown on Figure 4, the southern and south-eastern part of the site lies within the *Farmed Dale* Landscape Character Type. This is an LCT that extends, in separate areas, across much of the western third of the County; the site lies at the southernmost end of one of these LCTs and is therefore likely to have characteristics representative of both this and the *Settled Valley* LCT (described above). The key characteristics of the

*Farmed Dale* LCT, that are most relevant to the site, are described within the CBA Assessment as:

- *“Series of intimate dales or valleys, each of which have distinctive recognisable sense of a place and identity, based on their underlying geology, shape and cultural uses.*
- *Strong relationship between landscape and underlying geology.*
- *Predominantly pastoral character throughout the dales, ...*
- *In several of the dales, dry stone walls (constructed out of local stone) are key features ...*
- *Strong sense of unity within settlements and harmony with the landscape as a result of the use of locally sourced building materials and distinctive vernacular building designs ... “*

3.2.10 Under Forces for Change, the assessment notes (in relation to development and infrastructure) the potential for the introduction of visually intrusive camping and caravan sites, but makes no reference to settlement expansion *per se*.

#### ***Sensitivity to change of the site and surrounding (LCT) Farmed Dale***

##### *Landscape Value*

3.2.11 The North Yorkshire Landscape Character Assessment makes no assessment of LCT value, but given the proximity of this southern end of the LCT to the town of Settle, this is assessed as being no greater than medium.

##### *Susceptibility to Change*

3.2.12 The LCA identifies various sensitivities to change, for the *Farmed Dale* LCT, but none of these are relevant to the small area of this LCT that falls within and adjacent to the proposed development site. Given the proximity of the site to the town of Settle, the susceptibility to change, for this part of the LCT, is assessed as medium.

##### *Sensitivity of the Farmed Dale LCT*

3.2.13 Given the medium value of the landscape within the site and the surrounding character type, and a medium susceptibility to the change as proposed, to a housing development, it is considered that the landscape sensitivity in this part of the LCT is medium. This is mainly due to the presence of existing housing close to the site.

### *Landscape Effects on the site and surrounding (LCT) Farmed Dale*

3.2.14 At site level, the magnitude of change from the proposed development would be high as there would be a fundamental change from an agricultural field to a developed area of housing with roads, footpaths and new urban landscape elements. With a high magnitude of change on a landscape of medium sensitivity, landscape effects would be moderate / substantial and adverse at completion of the development.

3.2.15 For areas outside of the site and in the context of the *Farmed Dale* Landscape Character Type the magnitude of change, considering the existing urban context to the south and the size of this character type would be low. With a low magnitude of change on a landscape of medium sensitivity, the landscape effects on the wider LCT would be slight and adverse at completion of the development.

### ***Landscape Character Effects on LCTs outwith the site***

3.2.16 The closest LCT to the site, not including the settlement area to the immediate south and west, is the *Limestone Moors / Scar* LCT (North Yorkshire County Council LCA). This is an extensive area covering a wide swathe of land to the north-west and east of the site, enclosing the *Farmed Dale* LCT. As shown on Figure 1, small parts of this LCT are within the ZTV.

3.2.17 The key characteristics of this LCT, of relevance to the proposed development site, are:

- *“Panoramic views across the southern Farmed Dales.*
- *Views are often dominated by the three peaks of Ingleborough, Whernside and Pen-y-ghent, which contribute to strongly recognisable sense of place.*

3.2.18 Given that these key characteristics relate to views across the LCT which (partially) contains the site, it is relevant to consider the potential effects of the proposed development on these attributes.

3.2.19 Only a small part of the LCT, immediately to the east of Settle and including the area of Upper Settle would potentially be affected by the proposed development, which would be located between this limited area of the *Limestone Moors / Scar* LCT and the adjacent *Farmed Dale* LCT. The proposed development would also be located between this part of the *Limestone Moors / Scar* LCT and the more distant peaks of Ingleborough, Whernside and Pen-y-ghent, some 9km or more to the north.

### ***Sensitivity to change of the site and the adjacent (LCT) Limestone Moors / Scar***

#### *Landscape Value*

- 3.2.20 The landscape value of the Limestone Moors / Scar LCT is assessed as medium-high as this LCT extends across parts of the Yorkshire Dales National Park.

#### *Susceptibility to Change*

- 3.2.21 The susceptibility of this LCT to change of the type proposed, i.e. the development of housing on land to the immediate north of Settle, is assessed as medium for the small part of the LCT lying to the immediate east of Settle, and low-negligible for the remainder of the LCT.

#### *Sensitivity of the Limestone Moors / Scar LCT*

- 3.2.22 Given the medium-high value of the LCT and a medium susceptibility to change for the part of the LCT closest to the site, the sensitivity of that part of this LCT is assessed as medium-high. The remainder of the LCT would be of slight-negligible sensitivity.

#### *Landscape Effects on the adjacent (LCT) Limestone Moors / Scar*

- 3.2.23 The magnitude of change, from the proposed development, on this LCT is assessed as medium for the small part of the LCT located closest to the site. For the remainder of the LCT, the magnitude of change from the proposed development would be low to negligible, reducing with distance from the site.
- 3.2.24 Given the medium-high sensitivity of the small area of this LCT closest to the site, and a medium magnitude of change, effects on the landscape character as a result of the proposed development are assessed as moderate and adverse at completion of the development. For the remainder of the LCT, effects on landscape character would be slight adverse, reducing to negligible with increased distance from the site.

#### ***Other Landscape Character Types within the study area and the ZTV***

- 3.2.25 As shown on Figures 1 and 4, other LCTs within the study area are also within the ZTV for the proposed development. These are assessed for the potential for the proposed development to adversely affect these, below.

#### ***Valley Pasture Landscapes and Sub-Type 1 Flat Open Floodplain***

- 3.2.26 This landscape character sub-type is described as follows:

*Key Characteristics of Flat Open Floodplain:*

- *distinctive flat alluvial floodplains containing meandering river channels;*
- *broad, open floodplain valley providing extensive views framed by high ground;*
- *large-scale pastoral landscape with very limited vegetation and an open character;*
- *medium to large-scale fields of improved pasture bounded by fences and occasional walls or gappy, grown out hedgerows;*
- *open valley contains important transport corridors, with floodplain often bounded by road, rail, and canal, marking the boundary to higher ground; and*
- *river banks are often artificially raised.*

***Sensitivity to change of the Valley Pasture Landscapes and Sub-Type 1 Flat Open Floodplain***

*Landscape Value*

3.2.27 The landscape is described as having a “*moderate – weak*” character in the Craven District Landscape Character Appraisal and is also described as having a ‘declining’ landscape condition. The Craven District Landscape Appraisal highlighted that the landscape indicated a loss of boundary walls and hedgerows. The land within this character type has also been attributed ‘Special Landscape Area’ status and, given the designation of land to the east of the site as a National Park, land to the west of Giggleswick and Settle as an Area of Outstanding Natural Beauty (AONB), and the existence of a Conservation Area to the north of the *Flat Open Floodplain* Landscape Character Type, the value of the landscape within this character type is considered medium.

*Susceptibility to Change*

3.2.28 Forces for Change have been considered in the Craven District Landscape Character Appraisal, in particular the vulnerability of the floodplain landscape to development and drainage, with the river and A65 road corridor particularly vulnerable to change as the area is highly visible from the surrounding higher ground. However, the susceptibility of this landscape to change from the proposed development would be limited given the intervening settlement and very small area of the site. This is therefore assessed as negligible.

### *Sensitivity of the Flat Open Floodplain*

3.2.29 Given the medium value of the landscape within this character type and a negligible susceptibility to the proposed development, it is considered that the landscape sensitivity of this LCT to the proposed development is also negligible.

### ***Landscape Effects on the site and surrounding (LCT) Valley Pasture Landscapes and Sub-Type 1 Flat Open Floodplain***

3.2.30 In the context of the *Flat Open Floodplain* Character Sub-Type which lies to the south of Settle, the magnitude of change associated with the proposed development, considering the existing urban context to the north of this LCT would be negligible. With a negligible magnitude of change on a landscape of negligible sensitivity, landscape effects would be negligible and neutral at completion of the proposed development.

### ***Landscape Character Type Valley Pasture Landscapes and Sub-Type 2 Flat Open Floodplain with Stone Walls***

3.2.31 Also within the 2km radius study area and to the south of the proposed site and the village of Settle is the Landscape Character Type *Valley Pasture Landscapes* and Sub Type 2 *Flat Open Floodplain with Stone Walls*. This landscape character type and sub-type is described as follows:

#### *Key Characteristics of Flat Open Floodplain with Stone Walls:*

- *Distinctive flat alluvial floodplain containing meandering river channel.*
- *Broad, open floodplain valley providing extensive views framed by high ground.*
- *Medium to large-scale landscape with limited vegetation and an open character.*
- *Strong pattern of medium-scale fields of lush improved pasture enclosed by a network of dry-stone walls.*
- *Limited vegetation of isolated and scattered trees along field boundaries and river.*
- *Open valley contains important transport corridors, and floodplain is often crossed or bounded by road, rail, and canal, marking the boundary to higher ground.*
- *Some river banks are artificially raised.*

### ***Sensitivity to change of the Valley Pasture Landscapes and Sub-Type 2 Flat Open Floodplain with Stone Walls***

#### *Landscape Value*

3.2.32 The landscape is described as having a “strong” character in the Craven District Landscape Character Appraisal and is also described as having a ‘good - declining’ landscape condition. The Craven District Landscape Character Appraisal highlighted a strong pattern of medium-scale fields of lush improved pasture enclosed by a network of dry stone walls, albeit field boundaries have limited vegetation with isolated scattered trees. The open valley contains the floodplain which is intersected by road, rail, and canal transport routes and is free of built development other than the industrial buildings near to settlements. The land has also been attributed ‘Special Landscape Area’ status and, given the designation of land to the east of the site as a National Park, land to the west of Giggleswick and Settle as an Area of Outstanding Natural Beauty (AONB), and the existence of a Conservation Area to the north of the *Flat Open Floodplain and Stone Walls* landscape character type, the value of the landscape within this character type is considered medium / high.

#### *Susceptibility to Change*

3.2.33 Forces for Change have been considered in the Craven District Landscape Character Appraisal, in particular the vulnerability of the floodplain landscape to agricultural intensification, built development, drainage and flood control measures. This landscape is also highly visible from the surrounding elevated landscape. However, the amount of change as a result of residential development within the site as proposed is limited given the separation distance and presence of intervening built development. The susceptibility of this landscape to change as a result of the proposed development would therefore be negligible.

#### *Sensitivity of the Flat Open Floodplain and Stone Walls LCT*

3.2.34 Given the medium / high value of the landscape within this character type and a negligible susceptibility to the proposed development, it is considered that landscape sensitivity is low.

***Landscape Effects on the site and surrounding (LCT) Valley Pasture Landscapes and Sub-Type 2 Flat Open Floodplain with Stone Walls***

3.2.35 In the context of the *Flat Open Floodplain* Landscape Character Type which lies to the south of Settle, the magnitude of change associated with the proposed development, considering the existing urban context to the north of this LCT would be negligible. With a negligible magnitude of change on a landscape of low sensitivity, landscape effects would be negligible and neutral at completion of the development.

***Landscape Character Type Valley Pasture Landscapes and Sub-Type 12 Open Upland Pasture / Drumlin***

3.2.36 To the west of the 2km radius study area and to the west of the proposed site and the village of Settle is Landscape Character Type *Open Upland* and Sub-Type 12 *Open Upland Pasture/Drumlin*. This landscape character type and sub-type is described as follows:

*Key Characteristics of Open Upland Pasture / Drumlin:*

- *Rolling pastoral landscape, interspersed with some subdued drumlin topography.*
- *Open, exposed upland feel.*
- *Medium-scale fields enclosed by a network of dry-stone walls.*
- *Minor rock outcrops in some fields.*
- *Limited vegetation cover of occasional scattered trees, or small clumps of trees.*
- *Limited development with individual farmsteads, hamlets and villages.*

***Sensitivity to change of the Valley Pasture Landscapes and Sub-Type 12 Open Upland Pasture / Drumlin***

*Landscape Value*

3.2.37 The landscape is described as having a “*strong*” character in the Craven District Landscape Character Appraisal and is also described as having a ‘good - declining’ landscape condition. The Craven District Landscape Character Appraisal highlighted that the area has an open and exposed character due to limited vegetation cover. There are medium scale fields with dry stone walls surrounding pasture in partial decline, with distinctive clumps of trees. The landscape is rolling with minor drumlins and rocky outcrops. The settlement pattern is described as comprising individual stone farmsteads, hamlets and villages. The land is to the south of the Forest of



Bowland Area of Outstanding Natural Beauty (AONB) and has been attributed 'Special Landscape Area' status. The Yorkshire Dales National Park lies to the east of Settle and the Settle Conservation Area lies to the east of this landscape character type. This *Open Upland Pasture / Drumlin* Landscape Character Sub-Type is considered to be of medium landscape value.

*Susceptibility to Change*

3.2.38 Forces for Change have been considered in the Craven District Landscape Character Appraisal, in particular the pressure on field sizes from potential agricultural intensification and from the erection of large agricultural structures. The elevated location of this landscape character type makes it highly visible and also affords it extensive visibility across the wider area. The susceptibility of this landscape to change associated with the proposed housing development is therefore assessed as medium.

*Sensitivity of the Open Upland Pasture / Drumlin LCT*

3.2.39 With a medium value of the landscape within this character type and a medium susceptibility to the proposed development, it is considered that the landscape sensitivity of this LCT is medium. This reflects the 'strong' character noted above, as well as the good - declining condition of the landscape.

***Landscape Effects on the site and surrounding (LCT) Valley Pasture Landscapes and Sub-Type 12 Open Upland Pasture / Drumlin***

3.2.40 In the context of the *Open Upland Pasture / Drumlin* landscape which lies to the west of Settle, the magnitude of change associated with the proposed development, considering the existing urban context to the east of this LCT would be negligible. With a negligible magnitude of change on a landscape of medium sensitivity, landscape effects would be negligible and neutral at completion of the development.

***Landscape Character Assessment of North Yorkshire by Chris Blandford Associates (CBA) May 2011***

3.2.41 Outside of Craven District, the character of the landscape has been subject to a separate assessment, by CBA, and the information set out below, for the remaining character types present within the 2km study area and not assessed above, has been taken from this assessment.

### ***Landscape Character Type Drumlin Valleys***

3.2.42 To the north-west of the 2km radius study area and to the north-west of the proposed site and the town of Settle is Landscape Character Type *Drumlin Valleys*. This landscape character type is described as follows:

#### *Key Characteristics*

- *distinctive drumlin landform containing the recognisable ‘basket of eggs’ topography which displays a series of smooth, rounded hills rising from lower landscapes;*
- *hedgerows, hedgerow trees provide a localised sense of enclosure;*
- *landscape pattern comprises a series of medium sized, predominantly pastoral fields often lined with drystone walls and occasional hedgerows;*
- *predominantly rural character with associated relatively strong sense of tranquillity;*
- *country houses and associated designed landscapes which are key landscape features in places;*
- *clumps of trees are landscape features; and*
- *small rivers corridors which meander amongst the drumlin fields.*

#### ***Sensitivity to change of the Drumlin Valleys***

##### *Landscape Value*

3.2.43 The landscape is described in the Landscape Character Assessment of North Yorkshire as having a distinctive drumlin landform with the landscape pattern accentuated by dry stone walls surrounding pastoral fields and occasional hedgerows with clumps of trees providing landscape features. The landscape is rolling, intercepted by small narrow river corridors and winding lanes. Settlement is dispersed, comprising historic farms, hamlets and villages. This landscape type also includes designed landscapes and historic attributes as the land is within the Forest of Bowland Area of Outstanding Natural Beauty (AONB). This *Drumlin Valleys* Landscape Character Type is therefore considered to be of high landscape value.

##### *Susceptibility to Change*

3.2.44 Forces for Change have been considered in the Landscape Character Assessment, in particular potential lack of resources for continuing maintenance of dry stone walls

and hedgerows and the threat of extensive livestock farming with associated farm amalgamation and expansion. The elevated location of the landscape character type makes it highly visible as well as affording it extensive views across the wider landscape, in places. The susceptibility of this landscape to change associated with the proposed housing development would however be low to negligible, given the presence of the intervening town of Settle.

#### *Sensitivity of the Drumlin Valleys*

3.2.45 Given the high value of the landscape within this character type and a low to negligible susceptibility to the change associated with the proposed housing development, it is considered that landscape sensitivity is low-medium.

#### *Landscape Effects on the Drumlin Valleys*

3.2.46 In the context of the *Drumlin Valleys* LCT which lies to the west of Settle, the magnitude of change associated with the proposed development, considering the existing urban context to the south-east of this LCT would be negligible. With a negligible magnitude of change on a landscape of low-medium sensitivity, landscape effects would be negligible and neutral at completion of the development.

#### ***Landscape Character Type Moors Fringe***

3.2.47 In the south-eastern part of the 2km radius study area and to the south-east of the proposed site and the village of Settle is the Landscape Character Type *Moors Fringe*. This landscape character type is described as follows:

#### *Key Characteristics*

- *Gently sloping landscape which forms a transition between higher moors and fells to the west and the lower magnesian limestone ridge to the east.*
- *Predominantly rural landscape with an associated relatively strong sense of tranquillity.*
- *A patchwork of arable and pastoral fields which are delineated by stone walls and hedgerow field boundaries.*
- *Dispersed settlement pattern of small villages and large farmsteads linked by a network of minor roads.*
- *A mosaic of habitats including moorland and acid grassland support a large number of wading bird species.*

- *Settlements generally display buildings which are predominantly constructed from local stone, resulting in strong visual unity.*
- *Historic parklands and wooded estates enclosing a number of country houses are scattered throughout the landscape.*
- *Reservoirs are key landscape features in places.*

### ***Sensitivity to change of the Moors Fringe***

#### *Landscape Value*

3.2.48 The landscape is described as predominantly rural with many landscape attributes highlighted in the key characteristics listed. This is a transitional landscape as it lies between the arable landscapes to the east and pastoral farming to the west. The settlement pattern is dispersed with small villages and large farmsteads linked by a network of minor roads. Buildings are constructed of local materials resulting in strong visual unity. The land is within the Yorkshire Dales National Park. This *Moors Fringe* Landscape Character Type is considered to be of high landscape value.

#### *Susceptibility to Change*

3.2.49 Forces for Change have been considered in the Landscape Character Assessment, in particular the potential loss of relict field systems and remnant grasslands, loss of hedgerow trees and field boundaries due to agricultural intensification and forestry. There may also be threats to ecology and deterioration of dry stone walls due to changes in land use. Development and infrastructure could lead to an erosion of traditional character by non-traditional, large scale agricultural buildings and road improvements. There is strong inter-visibility with other landscape types. The susceptibility of this landscape to change associated with the proposed development is assessed as low, given the intervening settlement area and distance from the site.

#### *Sensitivity of the Moors Fringe*

3.2.50 The landscape character assessment describes the landscape as having “*High landscape and cultural sensitivity as a result of the predominantly intact pattern of hedgerows and drystone walls at field boundaries, the patchwork of historic designed landscapes, predominantly rural character and relatively strong sense of tranquillity*”. In this context the high value of the landscape within this character type and low

susceptibility to the change to a housing development, indicates that landscape sensitivity is medium.

### ***Landscape Effects on the site on the Moors Fringe***

3.2.51 In the context of the Moors Fringe, which lies to the south-east of Settle, the magnitude of change associated with the proposed development, considering the existing urban context to the south of the site and to the north of this LCT would be negligible. With a negligible magnitude of change on a landscape of medium sensitivity, landscape effects would be negligible and neutral at completion of the development.

### ***Landscape Character Type Broad Valleys***

3.2.52 This LCT lies within and extends out from the south-western part of the 2km study area and is overlapped by the *Flat Open Floodplain / Flat Open Floodplain with Stone Walls* (Craven District) LCTs. As these have been described above, there is no requirement to repeat the assessment for the *Broad Valleys* LCT here.

## **3.3 Landscape and Planning Considerations**

### ***Landscape Designations***

3.3.1 The Landscape Designations and Sensitive Receptors plan, Figure 2, shows that the site is not located within a designated landscape area. However, at a local level the Landscape Appraisal of Craven District (p14) states “*This document indicates a 'Special Landscape Area' (SLA) across the whole of Craven District outside the Yorkshire Dales National Park and the Forest of Bowland AONB*” (Area of Outstanding Natural Beauty). This designation is applicable to all areas within the 2km radius study area which are not designated as AONB or National Park.

3.3.2 The Yorkshire Dales National Park lies directly to the east of the site and occupies land to the south-east, east, north and west-north-west, as shown on Figure 2.

3.3.3 The Forest of Bowland Area of Outstanding Natural Beauty (AONB) occupies land to the north-west of the study area.

### ***Sensitive Designations***

3.3.4 The Landscape Designations and Sensitive Receptors plan, Figure 2, indicates Scheduled Monuments and Listed Buildings within the study area, though there are none within the site.

- 3.3.5 Figure 2 indicates that there are three Scheduled Monuments in the study area at approximately 2km to the north of the site. However, the Zone of Theoretical Visibility Plan, Figure 1, indicates that the scheduled monuments are not inter-visible with the proposed site.
- 3.3.6 The closest listed property, Barrel Sykes (Grade II) is located approximately 50m to the north of the proposed site.
- 3.3.7 The listed Langcliffe Lodge, Garden Wall, Railings and Gatepier (Grade II), lie beyond the railway embankment to the north-west of the site; the Settle War Memorial (Grade II) and Settle Bridge (Grade II\*) listed structures are located to the south-west, to the rear of existing buildings. There is a cluster of listed buildings in Giggleswick, including the Church of St Alkeda (Grade I), Ivy Fold (Grade II\*), Beck House (Grade II\*) and Giggleswick School (Grade II\*) that are screened from the site by the railway embankment and existing buildings. To the south of the site in Settle is a Grade I listed building known as The Folly, which is surrounded by a cluster of Grade II listed properties. These listed buildings are also separated from the site by intervening 'non listed' buildings. The distribution of listed properties discussed is shown on the Landscape Designations and Sensitive Receptors plan, Figure 2. The listed buildings within the centre of Settle are not inter-visible with the site.

#### ***Settle Conservation Area***

- 3.3.8 The site does not lie within the existing Conservation Area boundary and is largely separated from the Conservation Area by existing, modern housing in Town Head Way. The Settle Conservation Area is described in the appraisal of 2008<sup>6</sup> with a map showing the existing boundary which is adjacent to the southern edge of the proposed site. The appraisal also shows a proposal to revise the existing Conservation Area boundary southwards towards Church Street, Town Head Way (south) and Banks Lane, resulting in the removal of areas of existing housing from the designation. The appraisal states that *"The surveys of the conservation areas and their landscape settings led to the proposals in the draft appraisal report that a number of extensions and deletions should be made to existing boundaries. These were designated in 1970 and may no longer encompass only those areas which are of 'special architectural and historic interest'. Several extensions and deletions are proposed to the conservation*

---

<sup>6</sup> Settle Conservation Area Appraisal English Heritage and Craven District Council 2008

*area boundaries, described above in Part One. These are generally supported by consultation responses.” The appraisal includes the proposal: “PCB02 Delete modern developments at Town Head Way and Town Head Avenue; it is not necessary to include Holy Ascension Church within the conservation area in order to safeguard its future.”*

### **Access Network**

- 3.3.9 The access network plan, Figure 3, shows walking and cycling routes across the study area.
- 3.3.10 The site lies to the east of the B6479 road, which runs north from Settle to Langcliffe and beyond, and to the east of the Settle to Carlisle railway route. On the eastern site boundary is a minor road known as ‘Highway’. The southern part of the site is adjacent to Town Head Way and there is also an access road beneath the railway line to Barrel Sykes, to the north-west of the site. The surrounding town of Settle is connected to the A65 Skipton to Kendal road and the M6 motorway by the B6480 road. There is a minor road leading to the north through Stainforth from Stackhouse Lane in Giggleswick as well as the B6479 which continues northwards to Horton in Ribblesdale.
- 3.3.11 There are no Public Rights of Way (PROWs) crossing the site. There are rights of way which broadly run from north to south through the valley landscape. There is a right of way on the higher ground to the east of the site which is a section of the Pennine Journey walking route. Across the valley there is a walking route which runs through land to the west side of the River Ribble from Settle, known as the Dales High Way.
- 3.3.12 To the east of the study area there are public rights of way which form a network of connections to Giggleswick. To the north-east, a Countryside Rights of Way Access Area lies on higher ground and is intercepted by the Pennine Journey and Dales High Way walking routes. To the south of the study area there is a network of rights of way which radiate out from Settle into the adjacent countryside.
- 3.3.13 The nearest national cycle route is number 68, Way of the Roses, which enters the south-east of the study area along High Hill Lane and passes through Settle to turn northwards along Stackhouse Lane, west of the site.

## **4 VISUAL APPRAISAL**

### **4.1 Background**

4.1.1 The Zone of Theoretical Visibility (ZTV), Figure 1, is based on theoretical visibility using bare ground topography with no screening and assumes an eye height of 2m. It is based on a multi-point grid within the development boundary and each point is 9.5m above the ground, based on possible roof line height.

4.1.2 The site is located on the east side of the river valley with the field rising from west to east with local undulations. The southern edge of the site ranges in elevation from approximately 151m AOD to 171m AOD and the upper northern boundary ranges in elevation from approximately 154m AOD to 173m AOD.

#### ***Potential Views of the Site at Close Range***

4.1.3 The Zone of Theoretical Visibility (ZTV) is based on bare land terrain and therefore shows that the site is potentially visible from the town of Settle (which includes the settlement of Giggleswick), from areas to the north and north-east along the valley and from areas to the south-west and south of Settle. The digital mapping provided a useful guide on which to base the fieldwork. However, during the site visit it became apparent that the ZTV does not include the screening effects of buildings such as those in the town centre of Settle; nor does it include local elements of topography and vegetation, such as the railway embankment to the west of the site, which partially conceals the site in views from the west.

4.1.4 The site is concealed by existing buildings in views from the south, with the exception of a view at close proximity from the northern end of Town Head Way.

4.1.5 From the east, the site can be viewed at close proximity from an adjacent road known as 'Highway'. There is a high dry stone wall along the eastern site boundary which partially screens views to the existing site from this road.

4.1.6 From the west, at close proximity, the railway embankment screens near views of the site, with the exception of more distant views from higher ground to the west (see below). The railway is operational and therefore rail travellers would have a fleeting, glimpsed view in passing, looking down into and over the site, which rises to the east.



4.1.7 From the north, the site is visible from Barrel Sykes residences and premises and from the minor access road which passes under the railway to skirt the north-west corner of the proposed site.

#### ***Potential Long Range Views of the Site***

4.1.8 The ZTV map, Figure 1 indicates that the site is potentially visible from the higher ground to the east where there is a right of way, strategic walking route and open access land on higher ground. However, this visibility is limited to a distance of c. 500-750m from the site due to breaks in the rising ground. The site would not therefore be visible from more distant areas to the east.

4.1.9 From the north, the site is screened by a ridge, with more distant views limited to areas of south-facing slopes.

4.1.10 From the west, only the higher area of the site is visible and there are elevated views across the valley from residences above the strategic cycle route, which runs along Stackhouse Lane. Areas of higher ground in the west of the study area also have views of the site.

4.1.11 From the south, the ZTV mapping indicates more extensive visibility across the western valley floor of the River Ribble as well as the eastern valley floor (east of the B6480) and rising ground on the eastern valley side, to the south-east and south of Settle.

## **4.2 Appraisal of Key Views**

4.2.1 The viewpoints used in this appraisal were initially selected to capture locations from where the site is most visible; in this case three of the viewpoints are very close to the site. During the site visit an assessment of viewpoint visibility was undertaken and the viewpoint location was adjusted on the ground to maximize the visibility of the site. The following appraisal of viewpoints, supported by panoramic photography, considers the existing view, the concept of future housing development on the site and predictions of potential visual effects, should the site be fully developed.

### **4.3 Viewpoint 1: View north from Town Head Way (Figure 5)**

#### ***Existing View***

4.3.1 This view, taken from a pavement on the southern edge of the site, looks north towards the proposed site. In the foreground is a dry stone wall and field gate with a

residential parking bay and garden fencing to the right. In the mid-ground to the left is the railway embankment with scattered trees and rough grassy banks. In the centre of the mid-ground is an undulating field used for grazing, which rises from west to east across the view. In the background are mature trees in front of and around buildings at Barrel Sykes. These filter more distant views to the north. To the right of the view is a line of mature, deciduous trees; these filter more distant views of rising open land with clumps of trees and pasture enclosed by dry stone walls.

### ***Predicted View***

- 4.3.2 The annotated panorama from Viewpoint 1 (Figure 5) indicates that the proposed housing would be located to the rear of the dry stone wall and would occupy the field in the foreground and mid-ground. Without mitigation, it would be possible to view the lower and upper facades and rooftops of the proposed dwellings. The proposed buildings would conceal some of the existing background elements such as the railway embankment, the buildings and trees at Barrel Sykes, views of existing trees along Highway and the woodland on the far horizon and hilly backdrop.
- 4.3.3 The viewpoint is assessed as being of medium value as the views from existing residences are oblique from front windows or are from rear windows. Receptors can see the buildings at Barrel Sykes in this view and existing housing is also generally visible, for views in other directions. However, the site mainly comprises pasture with stone walls and therefore the susceptibility to change of visual receptors would be medium. It is therefore predicted that visual receptor sensitivity would be medium. The magnitude of change associated with the development of the existing field for housing is considered high, and therefore visual effects would be moderate / substantial and adverse in the short term, in the absence of any landscape mitigation, and reflecting the close proximity of the viewpoint to the site.

### ***Opportunities for Mitigation and Residual Effects***

- 4.3.4 To the right of the existing viewpoint panorama the existing dwellings can be seen; it is anticipated that these would be of a similar scale to those proposed. It is also considered that the visual presence of new houses could be reduced by setting development back from the site boundary in order to accommodate trees in gardens and new planting along the site boundary. The inclusion of a landscape buffer to the south of the site and the inclusion of trees in gardens and within the proposed

streetscape would visually soften the proposed facades and rooftops, such that the magnitude of change would reduce to medium.

- 4.3.5 With the landscape mitigation as proposed, the development would bring about a medium magnitude of change resulting in moderate and neutral visual effects in the longer term as the proposed landscape enhancements develop to maturity.

#### **4.4 Viewpoint 2: View north-west from Highway (Figure 6)**

##### ***Existing View***

- 4.4.1 Viewpoint 2 is from the road known as Highway at the south-east corner of the site where there is a view over the dry stone wall into the proposed site. This location is on the north-eastern corner of the Settle Conservation Area and the road forms the boundary of the Yorkshire Dales National Park. In the foreground is sloping pasture, which continues into the mid-ground, enclosed by dry stone walls. To the left of the foreground are existing dwellings and to the right the dry stone wall and road continue into the mid-ground, with deciduous trees to the right and fields used for grazing, also enclosed by dry stone walls. In the centre of the mid-ground is existing housing in Town Head Way, with the railway embankment to the rear. In the background to the left of the view, buildings and chimneys are visible in the centre of Settle. In the centre of the background are glimpsed views of the buildings at Barrel Sykes, surrounded by trees. The fields along the river corridor and clumps of trees are visible within the backdrop of rising land, with housing at Giggleswick and Lords Wood present on rising ground to the rear. There is also a long and wide view of buildings and fields in the distance.

##### ***Predicted View***

- 4.4.2 The annotated panorama from Viewpoint 2 indicates that the proposed housing would be located to the rear of the existing stone wall and would occupy the field in the foreground and mid-ground. Without mitigation, the upper facades and rooftops of proposed houses would be visible above the dry stone wall. The proposed buildings would conceal most of the existing background elements such as the chimneys and existing housing in Settle, the buildings at Barrel Sykes, the fields alongside the river and some housing and woodland on the higher ground on the far valley side.
- 4.4.3 The viewpoint is assessed as being of medium value as it is on the edge of an urban area and is taken from a road with no footway. With existing modern housing,

traditional housing and industrial buildings already visible, the susceptibility to change of visual receptors would be medium. It is predicted that as the view is of medium value, with medium susceptibility to change, visual receptor sensitivity would be medium. As there is already housing visible from this viewpoint, the magnitude of change associated with the development of the existing field for housing is considered to be medium, and therefore visual effects would be moderate and adverse in the short term, without landscape mitigation, given the close proximity of this viewpoint to the site.

### ***Opportunities for Mitigation and Residual Effects***

- 4.4.4 The existing viewpoint panorama shows existing dwellings of a similar scale to those proposed and it is anticipated that the visual presence of buildings could be reduced by setting back the proposed dwellings from the site boundary, to allow space to accommodate tree planting near to the edge of the site. The inclusion of a landscape buffer to the east of the site and the inclusion of trees in gardens and within the proposed streetscape would visually soften proposed facades and rooftops, such that the magnitude of change would reduce to low.
- 4.4.5 With the landscape mitigation as proposed, a low magnitude of change would result in slight / moderate and neutral visual effects in the longer term as the proposed landscape enhancements develop to maturity.

## **4.5 Viewpoint 3: View south-west from Highway (Figure 7)**

### ***Existing View***

- 4.5.1 Viewpoint 3 is seen from 'Highway', approaching from the north at the north-east corner of the site, where the dry stone wall allows views into the proposed site. The road marks the boundary of the Yorkshire Dales National Park. In the foreground is sloping pasture which continues into the mid-ground, descending down to the railway embankment, enclosed by dry stone walls. To the left of the foreground the dry stone wall and road continue into the mid-ground, with deciduous trees to the left and fields (pasture) also enclosed by dry stone walls. To the right of the foreground is a track, flanked by dry stone walls, forming the northern site boundary. To the centre of the background, buildings and the roofscape of Settle are visible beyond the railway embankment. To the right, the background is screened and filtered by mature trees and the traditional buildings at Barrel Sykes are visible. There is a wider backdrop of

trees and woodlands to the left and, on the horizon, rising land comprising small fields with stone walls and glimpses of housing at Giggleswick, with Lords Wood in the distance.

### ***Predicted View***

- 4.5.2 The annotated panorama from Viewpoint 3 indicates that the proposed housing would be located to the rear of the existing stone wall and would occupy the fields in the foreground and mid-ground. Without mitigation, the upper facades and rooftops of proposed houses would be visible above the dry stone wall. The proposed buildings would conceal some of the existing background elements, such as existing housing at Town Head Way and beyond the railway, as well as the housing and woodland on the higher ground across the valley.
- 4.5.3 The viewpoint is assessed as being of medium value as it is close to the edge of an urban area and is taken from a road with no footway. With existing modern housing and traditional housing already visible, the susceptibility to change of visual receptors is assessed as medium. It is predicted that, as the view is of medium value, with medium susceptibility to change, visual receptor sensitivity would be medium. As there is existing housing visible from this viewpoint, the magnitude of change associated with the development of the existing field for housing is considered medium, and therefore visual effects would be moderate and adverse in the short term, without landscape mitigation, recognising the close proximity of this viewpoint to the site.

### ***Opportunities for Mitigation and Residual Effects***

- 4.5.4 The existing viewpoint panorama shows existing dwellings of a similar scale to those proposed and it is anticipated that the visual presence of buildings could be reduced by setting back the proposed dwellings from the eastern and northern site boundaries to allow space to accommodate trees near to the edge of the site. The inclusion of a landscape buffer to the east of the site and the inclusion of trees in gardens within the proposed streetscape would visually soften proposed facades and rooftops, such that the magnitude of change would reduce to low.
- 4.5.5 With the landscape mitigation as proposed, the development would bring about a low magnitude of change, resulting in slight / moderate and neutral visual effects in the longer term as the proposed landscape enhancements develop to maturity.

#### **4.6 Viewpoint 4: View from the Public Right of Way (Pennine Journey) (Figure 8)**

##### ***Existing View***

4.6.1 Viewpoint 4 is representative of sequential views westwards, experienced by walkers along the Pennine Journey, strategic route, within the Yorkshire Dales National Park. In the foreground is a dry stone wall and undulating sloping pasture enclosed by regular dry stone walls which descend towards the valley bottom. Between the mid-ground and the background is a line of mature deciduous trees running from north to south along the eastern edge of the 'Highway'. In the centre of the background the site is partially visible, at a distance of 290m, with pasture and dry stone walls filtered by deciduous trees. To the left of the site, the existing housing in Town Head Way can be seen and to the right, the buildings at Barrel Sykes are visible, filtered by and adjacent to mature trees. In the background beyond the railway line to the left there is a long view across the rooftops of Settle, dispersed among trees. There is woodland on the hillsides and broad swathes of fields surrounded by dry stone walls which rise up to the south-east and east. In the centre of the view, playing fields and areas of modern and traditional housing are visible, with housing in Giggleswick visible to the rear of the site on higher ground. To the right of the view there is an old mill with a chimney (now a commercial visitor attraction), in the backdrop of the hills, woodlands, a quarry and industrial works.

##### ***Predicted View***

4.6.2 The annotated panorama from Viewpoint 4 indicates that the proposed housing would be located behind a fragmented line of existing trees, road and dry stone wall at the end of the mid-ground. The proposed housing would be visible with the lower facades partially concealed by the dry stone wall, and upper facades and rooftops filtered by the fragmented line of trees along the eastern site boundary. Without mitigation, the upper facades and rooftops of proposed houses would be visible above the dry stone wall. The proposed buildings would conceal some of the existing background elements, such as the railway embankment, but would leave the rest of the view unaltered due to the elevated nature of this viewpoint.

4.6.3 The viewpoint is part of a valued view, as it is located on the Pennine Journey strategic walking route. In the background of this view modern housing, traditional buildings and transport routes are already visible, albeit at a distance, and therefore receptors

are accustomed to see buildings in this view. The susceptibility to change of visual receptors to the proposed housing development is therefore assessed as medium. It is predicted that, with the value of the view assessed as high, visual receptor sensitivity overall would be high. However, considering the extent of housing already visible from this viewpoint and the size of the site in relation to this expansive panorama, the magnitude of change associated with the development of the existing field for housing is considered to be low, and therefore visual effects would be moderate and adverse in the short term, without landscape mitigation.

### ***Opportunities for Mitigation and Residual Effects***

- 4.6.4 The viewpoint panorama shows existing dwellings of a similar scale to those proposed and it is anticipated that the visual presence of buildings could be reduced by the careful selection of materials, setting dwellings back from the site boundary to accommodate new tree planting within the area of proposed housing, particularly along the eastern edge of the site. These measures have the potential to visually soften the facades and rooftops such that the magnitude of change would reduce to low-negligible.
- 4.6.5 With the landscape mitigation as proposed, the development would bring about a low-negligible magnitude of change, resulting in slight and neutral visual effects in the longer term as the proposed landscape enhancements develop to maturity.

## **4.7 Viewpoint 5: View east-south-east from Meadow Rise, Giggleswick (Figure 9)**

### ***Existing View***

- 4.7.1 Viewpoint 5 has been selected to represent the views of receptors across the valley looking from the west, some 550m from the site. During the fieldwork it was apparent that views from the strategic cycleway along Stackhouse Way would be heavily filtered by trees, with the railway embankment also screening the site from view. The viewpoint was therefore relocated in a more elevated location, offering clear views over the railway embankment across to the site. The view is within the Yorkshire Dales National Park and is taken from a roadside footway within a housing estate where there is a mix of views, including from a small number of front windows, but mainly from rear windows.
- 4.7.2 In the foreground is a road, pavements, lamp posts, garden hedges and trees, houses and motor vehicles. In the mid-ground are sports fields and the river corridor, marked

by deciduous trees. In the background to the left of the view, the land rises up steeply, with copses of deciduous woodland, isolated farm settlements and fields used for grazing. In the centre of the mid-ground the railway embankment is visible, together with a mill building and large chimney, and there is a glimpse of the Barrel Sykes buildings to the left of the proposed site. The upper, eastern areas of the proposed site are visible, with the central and southern areas in the backdrop of existing housing, screened by the embankment and heavily filtered by trees along the river corridor. Beyond the site, the landform rises steeply to form hills with rocky outcrops divided by dry stone walls, with some deciduous woodland and trees.

### ***Predicted View***

- 4.7.3 The annotated panorama from Viewpoint 5 indicates that the proposed housing would be located beyond the embankment and also behind existing housing, to the extent that only the areas of development in the higher, eastern areas of the site would be visible. In this view, the development of the site would extend housing to the north from Town Head Way to align with the housing already visible on the west side of the embankment. Rooftops would not extend eastwards or be higher than the extent of existing housing in Town Head Way.
- 4.7.4 As the viewpoint is from a modern housing estate, it is assessed as being of medium value, but represents a worst case visibility scenario when viewing the site from the west. In the background, residential properties are visible, albeit at a distance, and therefore buildings are already a feature of this view. The susceptibility to change of visual receptors to the proposed housing development is therefore assessed as medium / low. It is therefore predicted that visual receptor sensitivity overall would be medium. Considering the amount of housing that would be visible in the wider view, the magnitude of change associated with the development of the existing fields in the distance, for housing, is assessed as negligible, and therefore visual effects would be slight and adverse in the short term, without landscape mitigation.

### ***Opportunities for Mitigation and Residual Effects***

- 4.7.5 The viewpoint panorama shows existing dwellings of a similar scale to those proposed and it is anticipated that the visual presence of buildings could be reduced by the choice of materials, and by setting back the proposed dwellings from the site boundary to allow space to accommodate new planting within the proposed housing.



The inclusion of a landscape buffer within the visible, upper areas of the site, in gardens and in the streetscape, would visually soften the proposed facades and rooftops only marginally, such that the magnitude of change would remain as negligible.

- 4.7.6 With the landscape mitigation as proposed, the development would bring about a negligible magnitude of change resulting in slight and neutral visual effects in the longer term as the proposed landscape enhancements develop to maturity.

## 5 CONCLUSION

### 5.1 Summary and overview of potential landscape effects

- 5.1.1 The landscape sensitivity of the site and the surrounding landscape character types has been considered (in section 3 of this report) in order to inform consideration of the landscape effects of a housing development, proposed on the northern edge of Settle.

#### ***Local landscape effects***

- 5.1.2 The site lies within the *Settled Valley* Character Sub-Type and the *Farmed Dale* Landscape Character Type (LCT) on the northern edge of Settle and, at site level, the proposed development would bring about a fundamental change from a field used for grazing and surrounded by dry stone walls to an area of housing, similar to the existing housing located immediately to the south of the proposed site. As with any site, this would bring about moderate / substantial and adverse landscape effects at completion, without considered mitigation.
- 5.1.3 The local area surrounding the site lies within the *Settled Valley*, *Farmed Dale* and *Limestone Moors / Scar* LCTs and, considering the urban context to the south and west, including the road and rail infrastructure, landscape effects have been assessed as up to slight / moderate and adverse at completion of the proposed development, without considered mitigation.
- 5.1.4 For other, more distant LCTs within the study area, effects on landscape character from the proposed development are assessed as being no greater than negligible at completion of the proposed development, in the absence of considered mitigation.

### ***Proposed mitigation***

- 5.1.5 It is suggested that the proposed design for the site should be influenced by the layout, form and vernacular qualities of buildings in Settle, in particular those mentioned in the Settle Conservation Area Appraisal. This approach should be combined with consideration of density and siting of development cells within the site and the inclusion of landscape mitigation to retain and enhance existing landscape character.
- 5.1.6 This would include the retention and strengthening of dry stone wall field boundaries and the addition of perimeter native tree belts, as well as trees within the open spaces and proposed streets, to create a built environment, dispersed between trees, that will assimilate the development with the existing character of the village. This would potentially reduce landscape character effects at the level of the site to moderate and neutral, eventually becoming beneficial; and negligible and neutral within the wider study area.

### ***Local landscape effects after mitigation***

- 5.1.7 Landscape effects on the *Settled Valley* LCT beyond the immediate area of the site would potentially reduce from slight / moderate and adverse at completion to slight and neutral on the establishment of the landscape mitigation suggested above.
- 5.1.8 Landscape effects on the *Farmed Dale* LCT beyond the immediate area of the site would potentially reduce from slight and adverse at completion to slight and neutral on the establishment of the landscape mitigation suggested above.
- 5.1.9 Landscape effects on the *Limestone Moors / Scar* LCT, in the area closest to the site, would potentially reduce from moderate and adverse at completion to slight and neutral on the establishment of the landscape mitigation suggested above.

### ***Wider landscape effects***

- 5.1.10 In a wider context, analysis of the Craven District landscape character types including the *Flat Open Floodplain*, *Flat Open Floodplain with Stone Walls*, and *Open Upland Pasture / Drumlin* indicated that the proposed development would bring about negligible and neutral landscape effects at completion. The landscape sensitivity of these landscape character types varied from medium to high, through to negligible, as described above. However, these landscape character types are separated visually and physically from the site by changes in topography and intervening buildings such

that the magnitude of change would generally be no greater than negligible, with negligible and neutral landscape effects.

5.1.11 Similarly, the landscape character types contained within the Yorkshire Dales Landscape Character Assessment, including the more distant areas of the *Limestone Moors / Scar* LCT and the *Drumlin Valley* and *Moors Fringe* LCTs, are also sufficiently separate from the site, such that the magnitude of change brought about by the proposed development would be low-negligible or negligible with slight-negligible and negligible, neutral landscape effects.

#### ***Wider landscape effects after mitigation***

5.1.12 It is considered that landscape effects on the wider landscape character types would reduce to or remain negligible and neutral, due to the separation from the site by distance, variations in topography and intervening built development.

#### ***Landscape Effects on Designated Areas of Landscape***

##### ***Special Landscape Area***

5.1.13 The site and surrounding area is at present designated locally as a Special Landscape Area within the Craven District Landscape Character Appraisal. Analysis indicates that effects on this Special Landscape Area would be highest at close proximity to the development, bringing about moderate / substantial and adverse landscape effects at completion, reducing to slight and neutral on the establishment of the mitigation as proposed above.

5.1.14 Effects on more distant land to the north of the site, at completion, would be slight / moderate and adverse, reducing to slight and neutral on the establishment of the landscape mitigation as suggested above.

5.1.15 The proposed mitigation would be designed to ensure that the proposed development would not be in conflict with the adopted planning policy associated with the Special Landscape Area designation.

5.1.16 It is probable that this designation will cease to exist following adoption of the new, currently draft, Craven District Local Plan.

##### ***Yorkshire Dales National Park***

5.1.17 As shown on Figure 2, Landscape Designations and Sensitive Receptors, the land to the east of the site lies within the Yorkshire Dales National Park and landscape effects

would be slight and adverse at completion, reducing to slight and neutral on the establishment of the landscape mitigation as suggested.

***Forest of Bowland Area of Outstanding Natural Beauty (AONB)***

5.1.18 Part of the north-west of the study area lies within the Forest of Bowland Area of Outstanding Natural Beauty (AONB) and covers land within the Drumlin Valley LCT. Landscape effects on the AONB designated area would be negligible and neutral both at completion and following establishment of the landscape mitigation as proposed.

***Scheduled Monuments***

5.1.19 The proposed development would not have any detrimental effect on scheduled monuments.

***Listed Buildings***

5.1.20 The site is inter-visible with the Grade II listed property at Barrel Sykes, which lies approximately 50m to the north of the site boundary. The visual relationship with this listed property should be considered in the layout, design and mitigation of the proposed development. Other listed buildings to the north-west, south-west and south of the site are not inter-visible with the site due to screening from the intervening railway embankment and from other existing properties.

***The Settle Conservation Area***

5.1.21 The site is not within the Settle Conservation Area and would not have a detrimental effect on this designated area as there is intervening modern housing to the south of the proposed site, which is scheduled for exclusion from the Conservation Area in the longer term.

**5.2 Potential Effects on Visual Amenity**

<b>Table 1: Viewpoint locations and potential effects at completion and after mitigation</b>				
<b>Viewpoint Number</b>	<b>Location description and receptors represented</b>	<b>Magnitude of Effect at A: completion of the development &amp; B: with landscape mitigation</b>	<b>Visual Effects at completion of the development</b>	<b>Visual Effects after Mitigation</b>
1	North from Townhead Way Road users, pedestrians and residences	A: High B: Medium	Moderate / substantial and adverse	Moderate and neutral

<b>Table 1: Viewpoint locations and potential effects at completion and after mitigation</b>				
<b>Viewpoint Number</b>	<b>Location description and receptors represented</b>	<b>Magnitude of Effect at A: completion of the development &amp; B: with landscape mitigation</b>	<b>Visual Effects at completion of the development</b>	<b>Visual Effects after Mitigation</b>
2	North-west from Highway Road users and pedestrians	A: Medium B: Low	Moderate and adverse	Slight / moderate and neutral
3	South-west from Highway Road users and pedestrians	A: Medium B: Low	Moderate and adverse	Slight / moderate and neutral
4	West from PROW (Pennine Journey) Public rights of way users	A: low B: Negligible	Moderate and adverse	Slight and neutral
5	View east from Meadow Rise	A: Negligible B: Negligible	Slight and adverse	Slight and neutral

### 5.3 Summary and overview of Viewpoints Appraisal

#### ***Sensitive Receptors***

- 5.3.1 As discussed in Sections 3 and 5, it was found that there would be no inter-visibility between the scheduled monuments located to the north of the site and the study area.
- 5.3.2 Grade I Listed properties in Settle would not be inter-visible with the site; the nearest listed building which is inter-visible with the site is the Grade II listed Barrel Sykes. As such, therefore, landscape mitigation such as a landscape buffer along the northern edge of the proposed site should be considered for inclusion in the design / layout. The remaining listed buildings within the study area would not be effected by the proposed development.

#### ***Residential Receptors***

- 5.3.3 Two of the views, Viewpoint 1, looking north from Town Head Way, and Viewpoint 5, looking east from Meadow Rise, Giggleswick, are taken from the roadside and are also representative of oblique views from nearby residences, including views from front and rear windows. At Viewpoint 1, visual effects would be moderate / substantial and adverse, reducing to moderate and neutral with mitigation and at Viewpoint 5, effects would be slight and adverse, reducing to slight and neutral after mitigation.

Therefore, the greatest effects on residential receptors at completion of the development would be experienced by residents with oblique views to the site from Town Head Way near the southern edge of the site, with moderate / substantial and adverse levels of effect predicted at these properties, reducing to moderate and neutral with landscape mitigation.

***Road user receptors, including pedestrians where applicable***

- 5.3.4 Four of the five viewpoints appraised are located next to public roads.
- 5.3.5 The greatest effects on road users are predicted at Viewpoint 1, looking north from Town Head Way, with moderate / substantial and adverse visual effects, reducing to moderate and neutral with landscape mitigation. At Viewpoint 2, looking north-west from 'Highway' and at Viewpoint 3, looking south-west from 'Highway', effects on visual amenity are predicted to be moderate and adverse at completion of the development and slight / moderate and neutral on establishment of landscape mitigation, as these locations are close to the site. At the more distant Viewpoint 5, visual effects are predicted to be slight and adverse at completion, reducing to slight and neutral as the landscape mitigation develops.

***Rights of way users and recreational users***

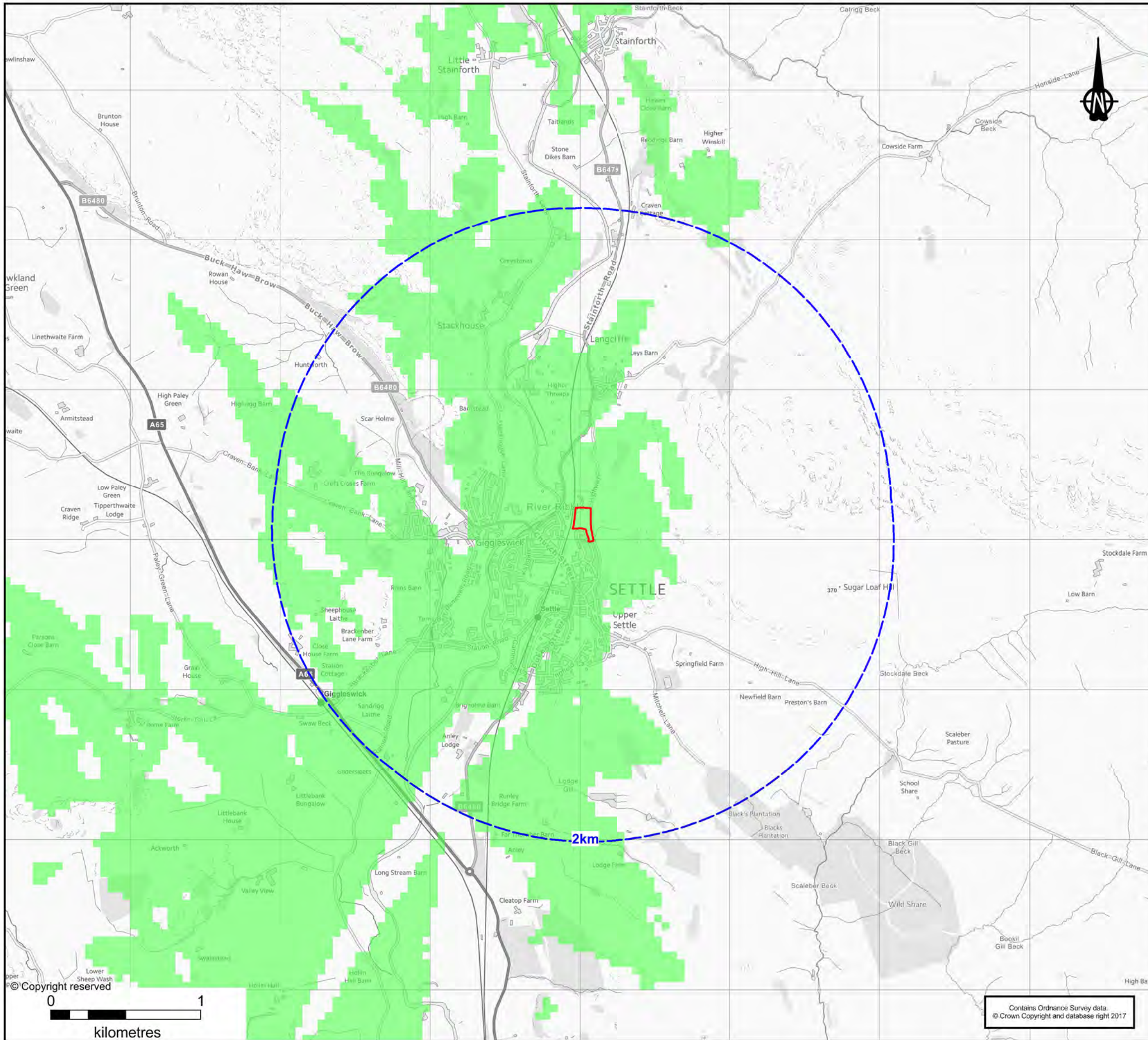
- 5.3.6 One of the five representative views is taken from a public right of way which is also a strategic walking route known as 'Pennine Journey' (Viewpoint 4). This right of way offers a sequence of elevated views into the site and the site is more visible from this right of way than any of the other rights of way within the 2km radius study area. At completion of the development, visual effects are predicted to be moderate and adverse. However, on maturity of the proposed landscape mitigation, particularly on the eastern edge of the site, visual effects would reduce to slight and neutral.
- 5.3.7 National Cycle Route 68 'Way of the Roses' enters the study area at approximately 2km to the south-east of the proposed site, as shown on Figure 3, Access Network. It is possible to obtain views of the upper areas of the proposed site from the section of this route to the north of Giggleswick, on Stackhouse Lane. However, Viewpoint 5 looking east from Meadow Rise provides a more elevated and unimpeded view from this side of the valley, with visual effects predicted as slight and adverse at completion of the development followed by slight and neutral effects as the built environment is softened by the proposed landscape mitigation.

### ***Potential visual effects and landscape mitigation***

5.3.8 The visual appraisal has been undertaken in the dormant winter season, when the site is more visible compared to other times of year when foliage is present on the trees. The appraisal indicates that, while there may be potentially high and adverse visual effects in the short term, mainly from viewpoints close to the site, the enhancement resulting from proposed peripheral and internal landscape planting would gradually reduce visual effects to acceptable levels, improving from adverse to neutral. It would also be appropriate (as noted above) to consider the existing grain of development, scale, and use of vernacular materials, which would help to assimilate the development within the immediate locality.

### **5.4 Overall Conclusion**

5.4.1 It is therefore concluded that with good design, with careful selection of appropriate building materials, in keeping with the character of the village and local area and with the implementation of high quality landscape mitigation, the development would not lead to unacceptable landscape effects and, in the context of sensitive visual receptors and views appraised from the representative viewpoints, the proposed scheme would equally not be unacceptable in visual terms, in the longer term.



**Key**

- Site Boundary
- 2km Distance Buffer
- Area where the Proposed Development is Theoretically Visible

**Notes:**

The ZTV is based on a multi point grid within the site boundary. Each point is 9.5m above ground level.

ZTV is based on theoretical visibility using bare ground topography without any screening.

OS Terrain 50 DTM (RSME 4m) was used to create the model from which the ZTV was produced.

The ZTV takes into account an eye height of 2m.

The ZTV was created using MapInfo Vertical Mapper V15 software which takes into account the curvature of the Earth

REVISION	DETAILS	DATE	DRAWN	CHK'D	APP'D
----------	---------	------	-------	-------	-------

CLIENT  
**Langcliffe Hall Estate**

PROJECT  
**Town Head Way Settle**

DRAWING TITLE  
**Zone of Theoretical Visibility**

DRG No <b>NT13041/001</b>	SCALE <b>1:25 000 @ A3</b>	DATE <b>February 2017</b>
------------------------------	-------------------------------	------------------------------

DRAWN BY <b>HM</b>	CHECKED BY <b>DG</b>	APPROVED BY <b>AR</b>
-----------------------	-------------------------	--------------------------

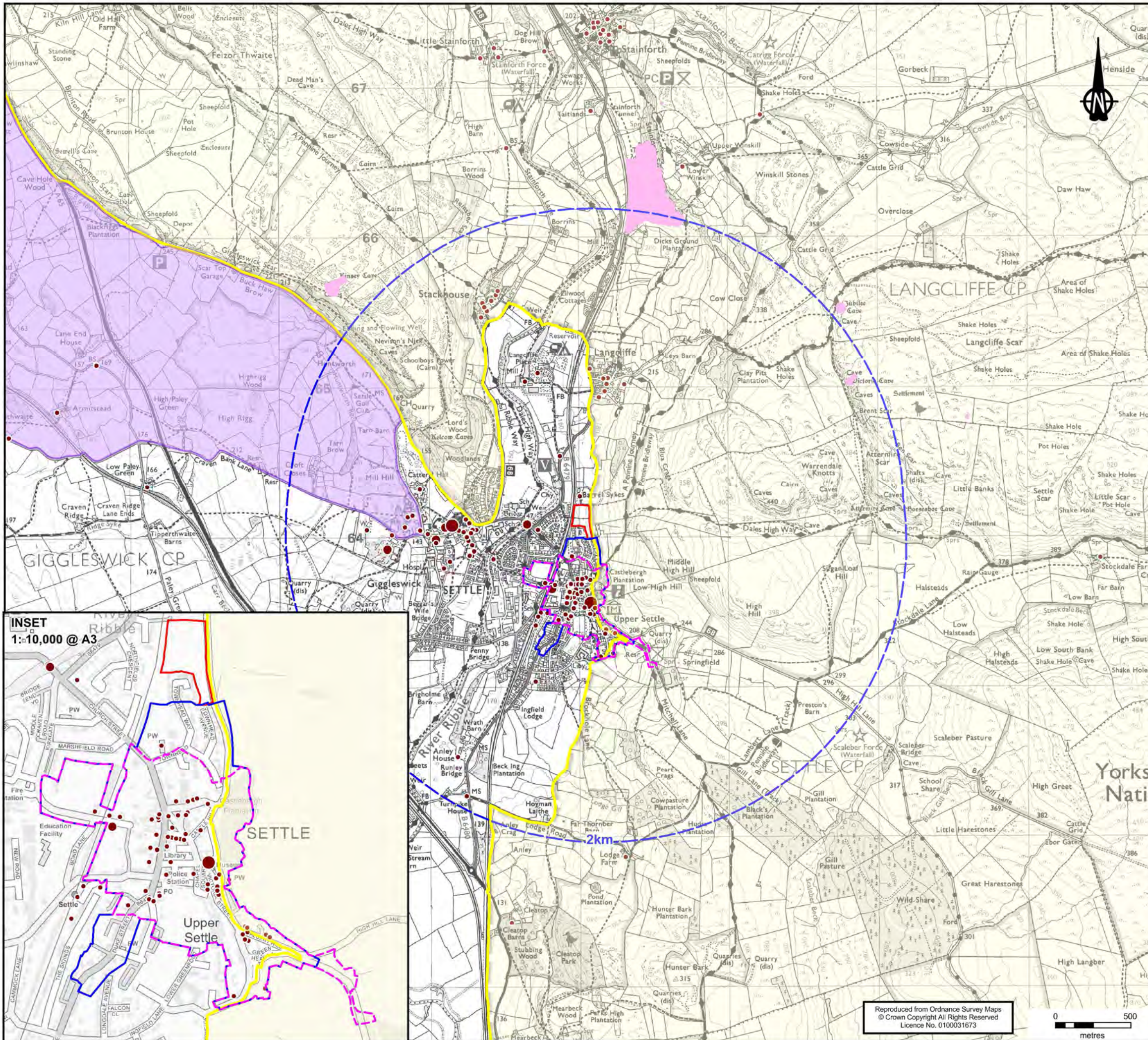
<input type="checkbox"/> STOKE-ON-TRENT (HEAD OFFICE) TEL [REDACTED]	<input type="checkbox"/> CARDIFF TEL [REDACTED]	
<input checked="" type="checkbox"/> NEWCASTLE UPON TYNE TEL [REDACTED]	<input type="checkbox"/> LEIGH TEL [REDACTED]	<input type="checkbox"/> SHEFFIELD TEL [REDACTED]
<input type="checkbox"/> WEST BROMWICH TEL [REDACTED]	<input type="checkbox"/> EDINBURGH TEL [REDACTED]	<input type="checkbox"/> TAUNTON TEL [REDACTED]
<input type="checkbox"/> LONDON TEL [REDACTED]		

© Copyright reserved  
0 1  
kilometres

Contains Ordnance Survey data.  
© Crown Copyright and database right 2017







**Key**

- Site Boundary
- Study Area
- Proposed Conservation Area Boundary
- Existing Conservation Area Boundary
- Area of Outstanding Natural Beauty
- Yorkshire Dales National Park
- Scheduled Monument

**Listed Buildings**

- Grade I Buildings of Exceptional Interest
- Grade II\* are particularly important buildings of more than special interest
- Grade II buildings are nationally important and of special interest

**Notes:**  
 Boundaries are indicative.  
 Existing and Proposed Conservation Area boundaries taken from Settle Conservation Area Appraisal 2008

Natural England copyright. Contains Ordnance Survey data © Crown copyright and database right 2017  
 © Historic England 2017. Contains Ordnance Survey data © Crown copyright and database right 2017.

REVISION	DETAILS	DATE	DRAWN	CHK'D	APP'D

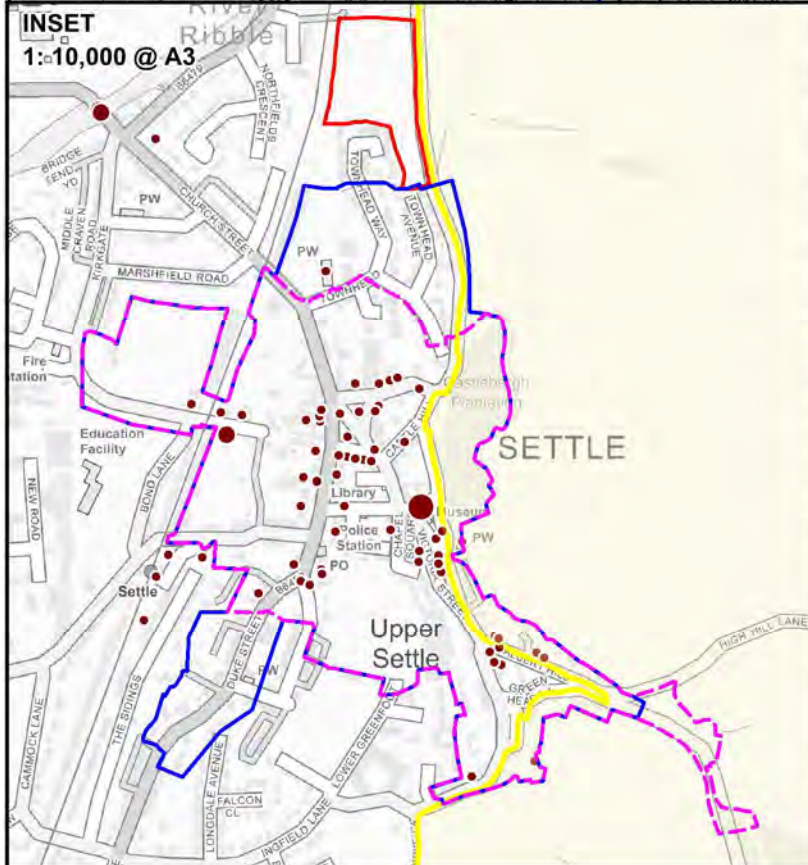
CLIENT  
 Langcliffe Hall Estate

PROJECT  
 Town Head Way Settle

DRAWING TITLE  
 Landscape Designations and Sensitive Receptors

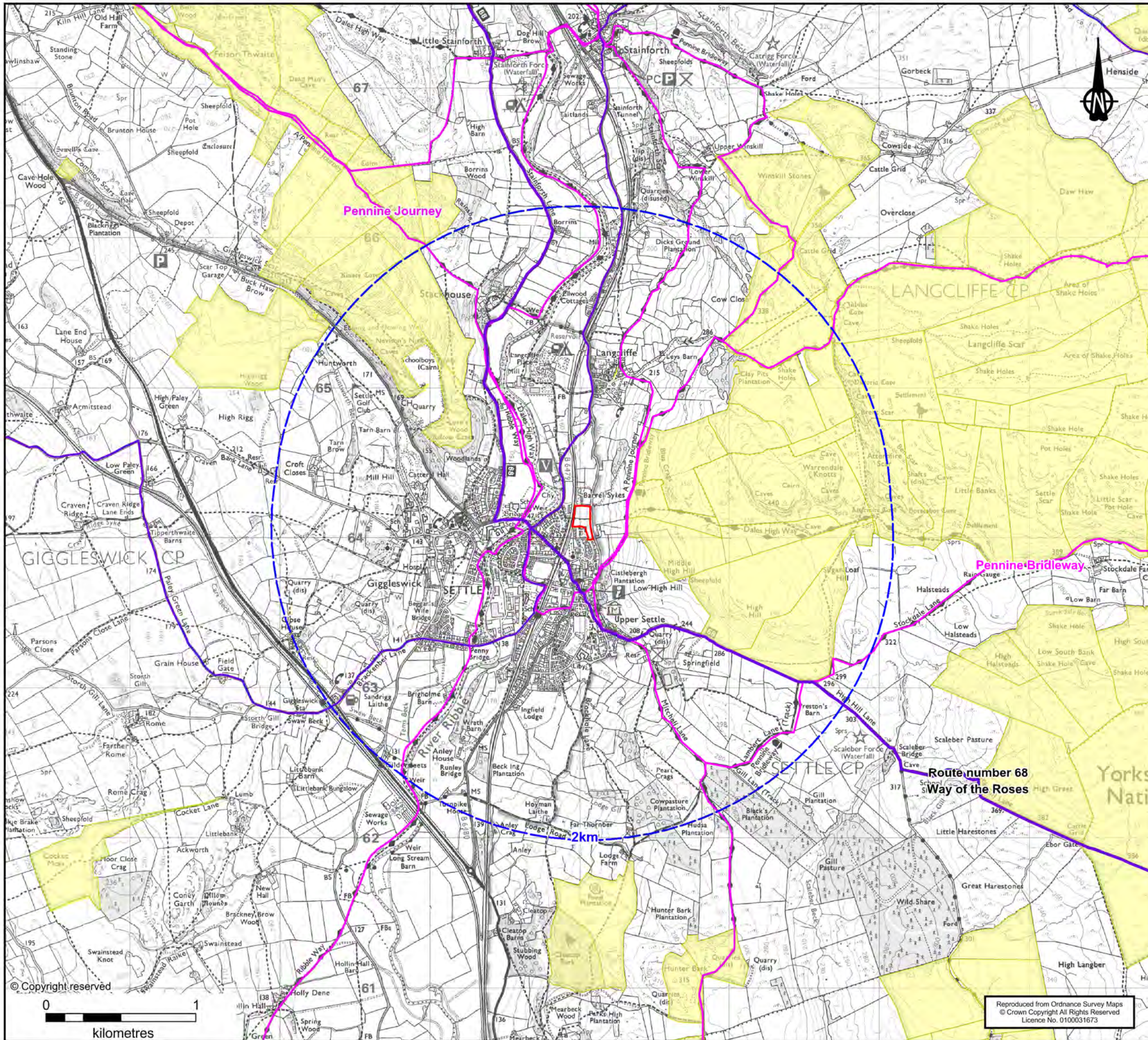
DRG No NT13041/002	SCALE 1: 25,000 @ A3	DATE February 2017
DRAWN BY SW	CHECKED BY DG	APPROVED BY AR

<input type="checkbox"/> STOKE-ON-TRENT (HEAD OFFICE) TEL	<input type="checkbox"/> CARDIFF TEL
<input type="checkbox"/> NEWCASTLE UPON TYNE TEL	<input type="checkbox"/> LEIGH TEL
<input type="checkbox"/> WEST BROMWICH TEL	<input type="checkbox"/> SHEFFIELD TEL
<input type="checkbox"/> LONDON TEL	<input type="checkbox"/> EDINBURGH TEL
	<input type="checkbox"/> TAUNTON TEL



Reproduced from Ordnance Survey Maps  
 © Crown Copyright All Rights Reserved  
 Licence No. 0100031673





**Key**

- Site Boundary
- Study Area
- National Cycle Network
  - Traffic Free
  - On Road
- Regional Cycle Network
  - Traffic Free
  - On Road
  - Long Distance Footpath
- Countryside Rights of Way Access Area



Sustrans © Crown Copyright. All rights reserved 2017

Natural England copyright. Contains Ordnance Survey data © Crown copyright and database right 2017

REVISION	DETAILS	DATE	DRAWN	CHK'D	APP'D

CLIENT  
**Langcliffe Hall Estate**

PROJECT  
**Town Head Way Settle**

DRAWING TITLE  
**Access Network**

DRG No <b>NT13041/003</b>	SCALE <b>1: 25,000 @ A3</b>	DATE <b>February 2017</b>
------------------------------	--------------------------------	------------------------------

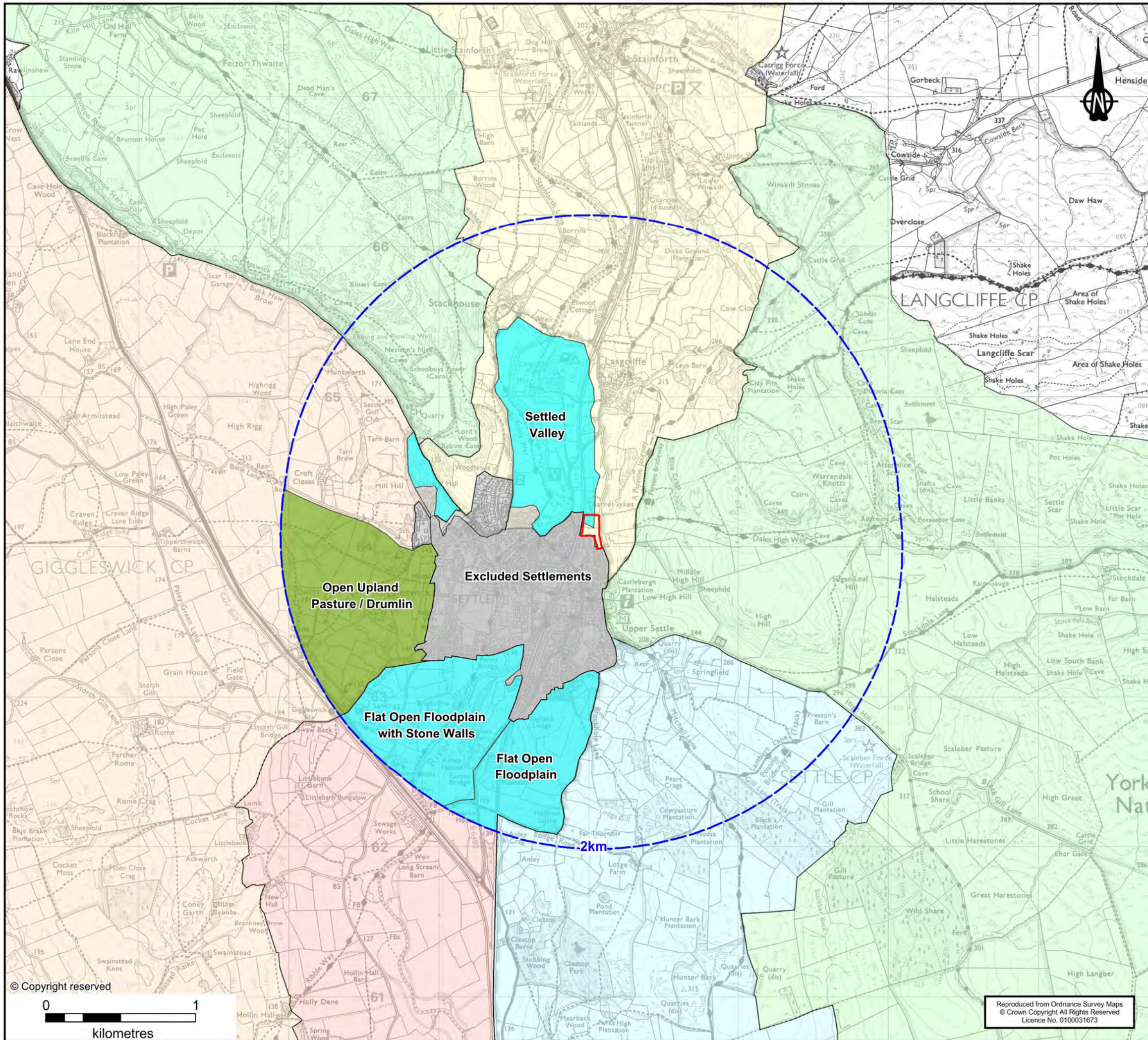
DRAWN BY <b>SW</b>	CHECKED BY <b>DG</b>	APPROVED BY <b>AR</b>
-----------------------	-------------------------	--------------------------

<input type="checkbox"/> STOKE-ON-TRENT (HEAD OFFICE) TEL	<input type="checkbox"/> CARDIFF TEL
<input type="checkbox"/> NEWCASTLE UPON TYNE TEL	<input type="checkbox"/> LEIGH TEL
<input type="checkbox"/> WEST BROMWICH TEL	<input type="checkbox"/> SHEFFIELD TEL
<input type="checkbox"/> LONDON TEL	<input type="checkbox"/> EDINBURGH TEL
	<input type="checkbox"/> TAUNTON TEL

© Copyright reserved  
0 1  
kilometres

Reproduced from Ordnance Survey Maps © Crown Copyright All Rights Reserved Licence No. 0100031673





**Key**

- Site Boundary
  - Study Area
  - National Character Area
- North Yorkshire County Council Character Types**
- Broad Valleys
  - Drumlin Valleys
  - Farmed Dale
  - Limestone Moors/Scar
  - Moors Fringe
  - Urban Landscapes
- Craven District Council Landscape Character Areas**
- Valley Pasture Landscapes
  - Open Upland
  - Excluded Settlements

Data source:  
 Craven District Outside the Yorkshire Dales National Park and Forest of Bowland AONB Landscape Appraisal October 2002

Natural England copyright. Contains Ordnance Survey data © Crown copyright and database right 2017

Landscape Character Areas provided by North Yorkshire County Council referenced from "North Yorkshire and York Landscape Characterisation Project" May 2011

REVISION	DETAILS	DATE	DRAWN	CHK'D	APP'D

CLIENT  
 Langcliffe Hall Estate

PROJECT  
 Town Head Way Settle

DRAWING TITLE  
 Landscape Character Areas

DRG No NT13041/004	SCALE 1: 25,000 @ A3	DATE February 2017
-----------------------	-------------------------	-----------------------

DRAWN BY SW	CHECKED BY DG	APPROVED BY AR
----------------	------------------	-------------------

- |   |   |
|---|---|
| <input type="checkbox"/> STOKE-ON-TRENT (HEAD OFFICE) TEL [REDACTED]<br><input checked="" type="checkbox"/> NEWCASTLE UPON TYNE TEL [REDACTED]<br><input type="checkbox"/> WEST BROMWICH TEL [REDACTED]<br><input type="checkbox"/> LONDON TEL [REDACTED] | <input type="checkbox"/> CARDIFF TEL [REDACTED]<br><input type="checkbox"/> LEIGH TEL [REDACTED]<br><input type="checkbox"/> SHEFFIELD TEL [REDACTED]<br><input type="checkbox"/> EDINBURGH TEL [REDACTED]<br><input type="checkbox"/> TAUNTON TEL [REDACTED] |
|---|---|

© Copyright reserved  
 0 1  
 kilometres

Reproduced from Ordnance Survey Maps © Crown Copyright All Rights Reserved Licence No. 0100031673



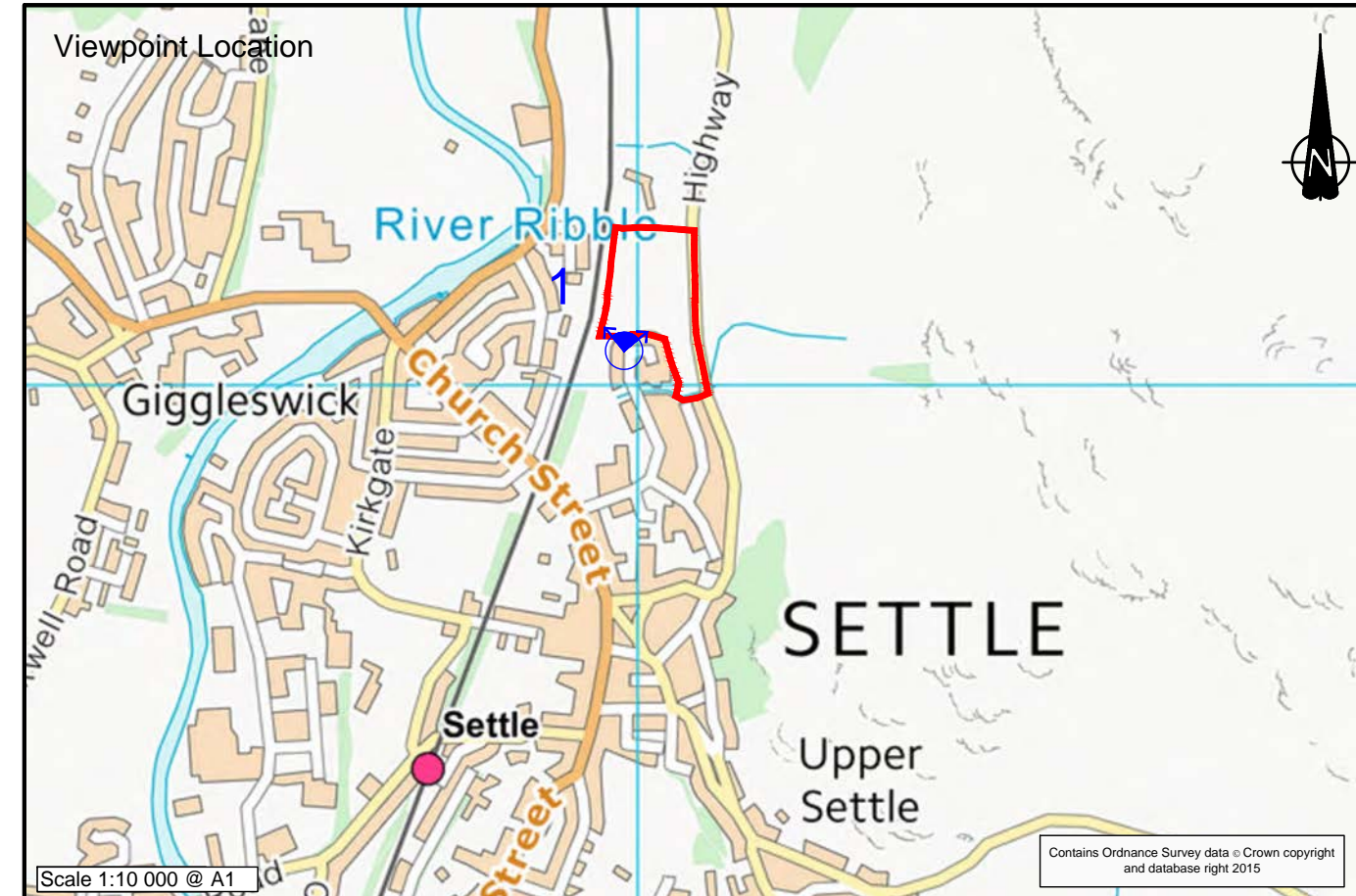


**Baseline Photograph Parameters**

Grid Ref	324237mE 499584mN
Elevation	152mAOD
Viewing Direction	340°
Distance to Development	2m
Camera Details	Nikon D8100 With Sigma Fixed 50mm Lens
Camera Height	1.5m
Time and Date of Image Capture	10:20 13th Febuary 2017
Weather and Lighting Conditions:	Overcast and Windy
Horizontal Scale	6.1 mm per °
Horizontal Field of View	135°
Vertical Field of View	24.1°
Viewing Distance	348mm @ A1

Photograph used is a composite panoramic image using portrait images with a 15° interval stitched to create a cylindrical projection  
This image provides a landscape and visual context only

© Copyright Reserved



**Viewpoint 1: View north from Town Head Way**

**Existing View**

This view, taken from a pavement looks towards the proposed site. In the foreground is a dry stone wall and field gate with a dwelling parking bay and garden fencing to the right. In the mid-ground to the left is a railway embankment with scattered trees and rough grassy banks. To the centre of the mid-ground is an undulating pastoral field, which rises from west to east across the view. In the background are mature trees in front of and around buildings at Barrel Sykes. These filter views to the north. To the right of the background a line of mature, deciduous trees which filters distant views of rising open land with clumps of trees and pasture enclosed by dry stone walls.

**Predicted View**

The annotated panorama from Viewpoint 1 indicates that the proposed housing would be located to the rear of the dry stone wall and would occupy the field in the foreground and mid-ground. Without mitigation, it would be possible to view the lower and upper facades and rooftops of the proposed dwellings. The proposed buildings would conceal some of the existing background elements such as the railway embankment, the buildings and trees at Barrel Sykes, views of existing trees along Highway and the woodland on the far horizon and hilly backdrop.

The viewpoint is of medium value as the views from existing residences are oblique from front windows or are from rear windows. Receptors can see the buildings at Barrel Sykes in this view and

existing housing is also generally visible. However, the site mainly comprises pasture with stone walls and therefore the susceptibility to change of visual receptors would be medium. It is therefore predicted that visual receptor sensitivity would be medium. The magnitude of change associated with the development of the existing field for housing is considered high, and therefore visual effects would be moderate/ substantial and adverse in the short term, without landscape mitigation at such close proximity to the site.

**Opportunities for Mitigation and Residual Effects**

To the right of the existing viewpoint panorama the existing dwellings can be seen which would be of a similar scale to those proposed. It is anticipated that the visual presence of buildings could be reduced by setting development back from the site boundary to accommodate trees in gardens and planting along the site boundary. The inclusion of a landscape buffer to the south of the site; and the inclusion of trees in gardens and within the proposed streetscape would visually soften proposed facades and rooftops such that the magnitude of change would reduce to medium.

With the landscape mitigation as proposed, the development would bring about a medium magnitude of change resulting in moderate and neutral visual effects in the longer term as the proposed landscape enhancements develop to maturity.

REVISION	DETAILS	DATE	DRAWN	CHK'D	APP'D
CLIENT	Langcliffe Hall Estate				
PROJECT	Town Head Way Settle				
DRAWING TITLE	Figure 5 Viewpoint 1 LVIA				
DRG No	NT13041/ Fig 5	SCALE	NTS	DATE	February 2017
DRAWN BY	GL	CHECKED BY	DG	APPROVED BY	AR
<input type="checkbox"/> STOKE-ON-TRENT (HEAD OFFICE)	TEL: [REDACTED]	<input type="checkbox"/> CARDIFF	TEL: [REDACTED]	<input type="checkbox"/> LONDON	TEL: [REDACTED]
<input type="checkbox"/> NEWCASTLE UPON TYNE	TEL: [REDACTED]	<input type="checkbox"/> SHEFFIELD	TEL: [REDACTED]	<input type="checkbox"/> WEST BROMWICH	TEL: [REDACTED]
<input type="checkbox"/> GREATER MANCHESTER	TEL: [REDACTED]	<input type="checkbox"/> EDINBURGH	TEL: [REDACTED]		



**Baseline Photograph Parameters**

Grid Ref	382091mE 43997mN
Elevation	173mAOD
Viewing Direction	300°
Distance to Development	Adjacent to the site boundary
Camera Details	Nikon D8100 With Sigma Fixed 50mm Lens
Camera Height	1.5m
Time and Date of Image Capture	10:30 13th February 2017
Weather and Lighting Conditions:	Sunny and Clear

Horizontal Scale	6.1 mm per °
Horizontal Field of View	135°
Vertical Field of View	24.1°
Viewing Distance	348mm @ A1

Photograph used is a composite panoramic image using portrait images with a 15° interval stitched to create a cylindrical projection  
 This image provides a landscape and visual context only

© Copyright Reserved



**Viewpoint 2 North-west from Highway**

**Existing View**

Viewpoint 2 is from the road known as Highway at the south-east corner of the site where there is a view over the dry stone wall into the proposed site. This location is the north-east corner of the Settle Conservation Area and the road forms the eastern boundary of the Yorkshire Dales National Park. In the foreground is sloping pasture, which continues into the mid-ground, enclosed by dry stone walls. To the left of the foreground are existing dwellings and to the right the dry stone wall and road continue into the mid-ground, with deciduous trees to the right and pastoral fields also enclosed by dry stone walls. In the centre of the mid-ground is existing housing in Town Head Way with the railway embankment to the rear. In the background to the left, buildings and chimneys are visible in the centre of Settle. In the centre of the background are glimpsed views of the buildings at Barrel Sykes, surrounded by trees. The fields along the river corridor and clumps of trees are visible in the backdrop of rising land with housing at Giggleswick and Lords Wood on rising ground to the rear. There is also a long and wide view of buildings and fields in the distance.

**Predicted View**


The annotated panorama from Viewpoint 2 indicates that the proposed housing would be located to the rear of the existing stone wall and would occupy the field in the foreground and mid-ground. Without mitigation, the upper facades and rooftops of proposed houses would be visible above the dry stone wall. The proposed buildings would conceal some of the existing background elements such as the chimneys and existing housing, the buildings at Barrel Sykes, the fields along the river side and some housing and woodlands on the higher ground across the valley.

The viewpoint is of medium value as it is on the edge of an urban area and is taken from a road with no footway. With existing modern housing, traditional housing and industrial building already visible, receptors would expect to see buildings in this view and also fields. Therefore, the susceptibility to change of visual receptors would be medium. It is predicted that as the view is of medium value, with medium susceptibility to change, visual receptor sensitivity would be medium. As there is already housing visible from this viewpoint, the magnitude of change associated with the development of the existing field for housing is considered medium, and therefore visual effects would be moderate and adverse in the short term, without landscape mitigation at such close proximity to the site.

**Opportunities for Mitigation and Residual Effects**

The existing viewpoint panorama shows existing dwellings of a similar scale to those proposed and it is anticipated that the visual presence of buildings could be reduced by setting back the proposed dwellings from the site boundary to allow space to accommodate tree planting near to the edge of the site. The inclusion of a landscape buffer to the east of the site; and the inclusion of trees in gardens and within the proposed streetscape would visually soften proposed facades and rooftops such that the magnitude of change would reduce to low.

With the landscape mitigation as proposed, the development would bring about a low magnitude of change resulting in slight/ moderate and neutral visual effects in the longer term as the proposed landscape enhancements develop to maturity.

REVISION	DETAILS	DATE	DRAWN	CHK'D	APP'D
CLIENT <b>Langcliffe Hall Estate</b>					
PROJECT <b>Town Head Way Settle</b>					
DRAWING TITLE <b>Figure 6 Viewpoint 2 LVIA</b>					
DRG No NT13041/ Fig 6	SCALE NTS	DATE February 2017			
DRAWN BY BCM	CHECKED BY DG	APPROVED BY AR			
<input type="checkbox"/> STOKE-ON-TRENT (HEAD OFFICE) TEL: [REDACTED]	<input type="checkbox"/> CARDIFF TEL: [REDACTED]				
<input type="checkbox"/> NEWCASTLE UPON TYNE TEL: [REDACTED]	<input type="checkbox"/> LONDON TEL: [REDACTED]				
<input type="checkbox"/> WEST BROMWICH TEL: [REDACTED]	<input type="checkbox"/> SHEFFIELD TEL: [REDACTED]				
<input type="checkbox"/> GREATER MANCHESTER TEL: [REDACTED]	<input type="checkbox"/> EDINBURGH TEL: [REDACTED]				
 <span style="font-size: small;">your earth our world</span>					



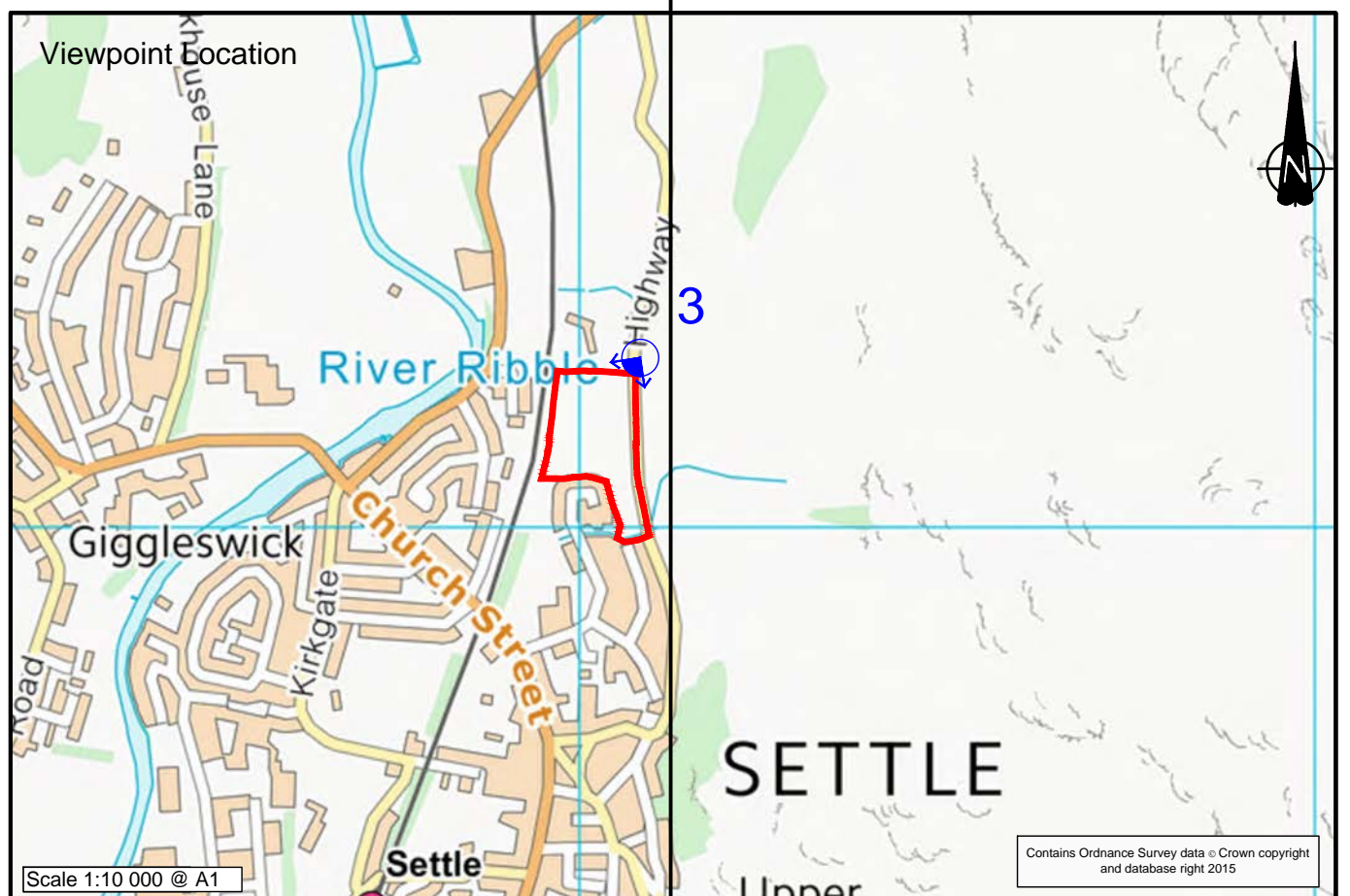
**Baseline Photograph Parameters**

Grid Ref	382070mE 464206mN
Elevation	171mAOD
Viewing Direction	210°
Distance to Development	Adjacent to the site boundary
Camera Details	Nikon D8100 With Sigma Fixed 50mm Lens
Camera Height	1.5m
Time and Date of Image Capture	10:05 13th February 2017
Weather and Lighting Conditions:	Overcast and Clear

Horizontal Scale	6.1 mm per °
Horizontal Field of View	135°
Vertical Field of View	24.1°
Viewing Distance	348mm @ A1

Photograph used is a composite panoramic image using portrait images with a 15° interval stitched to create a cylindrical projection  
 This image provides a landscape and visual context only

© Copyright Reserved



**Viewpoints 3 south-west from Highway**

**Existing View**

Viewpoint 3 is from Highway approaching from the north at the north-east corner of the site, where the dry stone wall allows views into the proposed site. The road marks the eastern boundary of the Yorkshire Dales National Park. In the foreground is sloping pasture which continues into the mid-ground, descending down to the railway embankment, enclosed by dry stone walls. To the left of the foreground the dry stone wall and road continue into the mid-ground, with deciduous trees to the left and pastoral fields also enclosed by dry stone walls. To the right of the foreground is a track, flanked by dry stone walls, forming the northern site boundary. To the centre of the background buildings and roofscape of Settle are visible beyond the railway embankment. To the right the background is screened and filtered by mature trees and the traditional buildings at Barrel Sykes are visible. There is a wider backdrop of trees and woodlands to the left and on the horizon, rising land comprising small fields with stone walls and glimpses of housing at Giggleswick with Lords Wood in the distance.

**Predicted View**

The annotated panorama from Viewpoint 3 indicates that the proposed housing would be located to the rear of the existing stone wall and would occupy the fields in the foreground and mid-ground. Without mitigation, the upper facades and rooftops of proposed houses would be visible above the dry stone wall. The proposed buildings would conceal some of the existing background elements such as existing housing at Town Head Way and beyond the railway and the housing and woodlands on the higher ground across the valley.

The viewpoint is of medium value as it is on the edge of an urban area and is taken from a road with no footway. With existing modern housing and traditional housing, already visible, receptors would expect to see buildings and also the existing fields in this view. Therefore, the susceptibility to change of visual receptors would be medium. It is predicted that as the view is of medium value, with medium susceptibility to change, visual receptor sensitivity would be medium. As there is existing housing visible from this viewpoint, the magnitude of change associated with the development of the existing field for housing is considered medium, and therefore visual effects would be moderate and adverse in the short term, without landscape mitigation at such close proximity to the site.

**Opportunities for Mitigation and Residual Effects**

The existing viewpoint panorama shows existing dwellings of a similar scale to those proposed and it is anticipated that the visual presence of buildings could be reduced by setting back the proposed dwellings from the eastern and northern site boundaries to allow space to accommodate trees near to the edge of the site. The inclusion of a landscape buffer to the east of the site; and the inclusion of trees in gardens within the proposed streetscape, would visually soften proposed facades and rooftops such that the magnitude of change would reduce to low.

With the landscape mitigation proposed, the development would bring about a low magnitude of change resulting in slight/ moderate and neutral visual effects in the longer term as the proposed landscape enhancements develop to maturity.

REVISION	DETAILS	DATE	DRAWN	CHK'D	APP'D
CLIENT <b>Langcliffe Hall Estate</b>					
PROJECT <b>Town Head Way Settle</b>					
DRAWING TITLE <b>Figure 7 Viewpoint 3 LVIA</b>					
DRG No NT13041/ Fig 7	SCALE NTS	DATE February 2017			
DRAWN BY BCM	CHECKED BY DG	APPROVED BY AR			
<input type="checkbox"/> STOKE-ON-TRENT (HEAD OFFICE) <input checked="" type="checkbox"/> NEWCASTLE UPON TYNE <input type="checkbox"/> WEST BROMWICH <input type="checkbox"/> GREATER MANCHESTER					



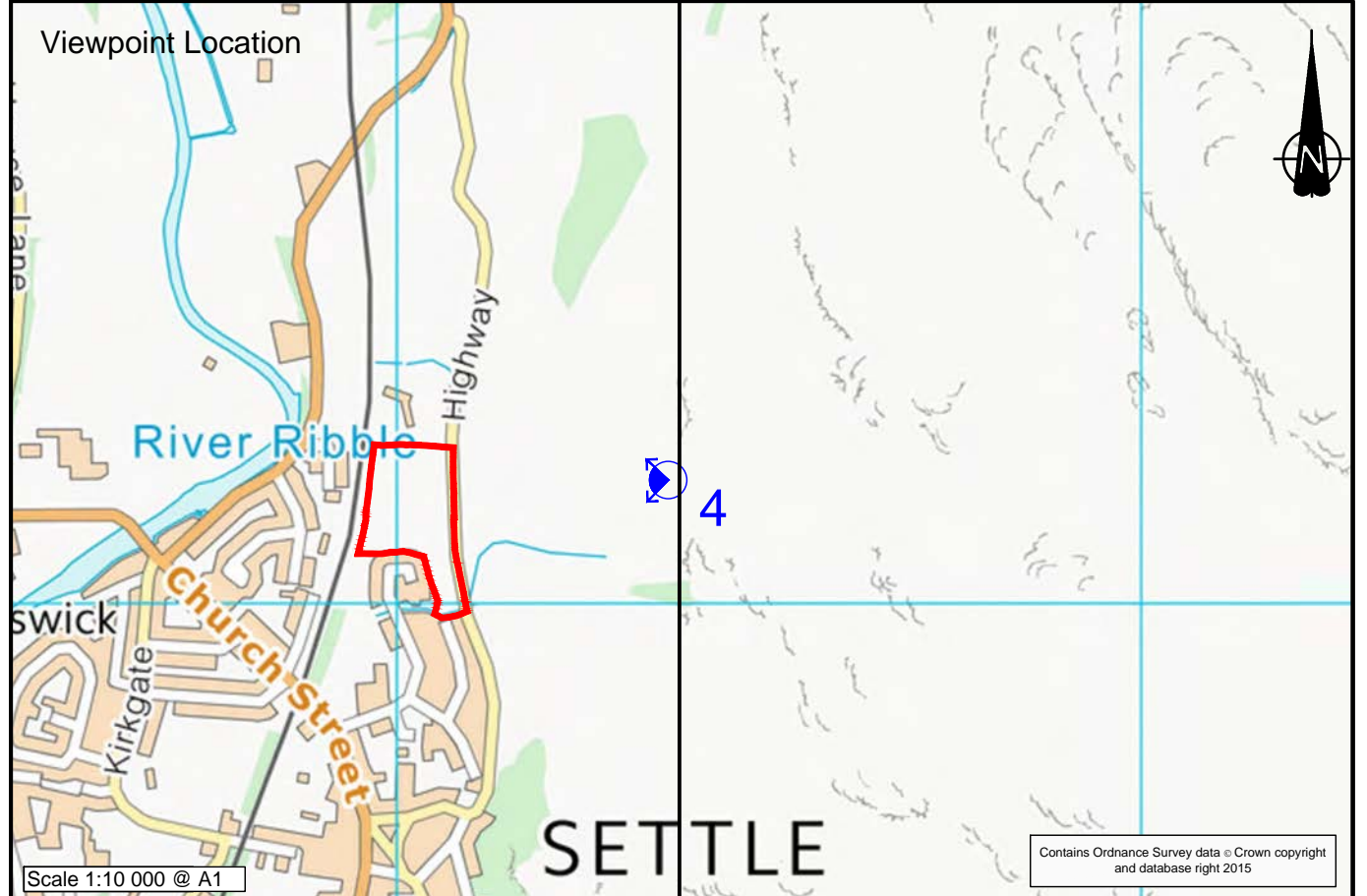
**Baseline Photograph Parameters**

Grid Ref 382313mE 464132mN  
 Elevation 237mAOD  
 Viewing Direction 270°  
 Distance to Development 290m  
 Camera Details Nikon D8100 With Sigma Fixed 50mm Lens  
 Camera Height 1.5m  
 Time and Date of Image Capture 11:00 13th February 2017  
 Weather and Lighting Conditions: Overcast and Clear

Horizontal Scale 6.1 mm per °  
 Horizontal Field of View 135°  
 Vertical Field of View 24.1°  
 Viewing Distance 348mm @ A1

Photograph used is a composite panoramic image using portrait images with a 15° interval stitched to create a cylindrical projection  
 This image provides a landscape and visual context only

© Copyright Reserved



**Viewpoint 4 View Public Right of Way (Pennine Journey)**

**Existing View**

Viewpoint 4 is representative of sequential views experienced by walkers along the Pennine Journey, strategic route, within the Yorkshire Dales National Park. In the foreground is a dry stone wall and undulating sloping pasture enclosed by regular dry stone walls which descend towards the valley bottom. Between the mid-ground and the background is a line of mature deciduous trees running from north to south along the eastern edge of the Highway. In the centre of the background the site is partially visible with pasture and dry stone walls filtered by deciduous trees. To the left of the site the existing housing in Town Head Way can be seen and to the right the buildings at Barrel Sykes are visible, filtered by and adjacent to mature trees. In the background beyond the railway line to the left there is a long view across the rooftops of Settle dispersed among trees. There are woodlands on hills and broad swathes of fields surrounded by dry stone walls which rise up to the south-east and east. In the centre of the view playing fields and areas of modern and traditional housing are visible with housing in Giggleswick visible to the rear of the site on higher ground. To the right of the view there is an old mill with a chimney (now a commercial visitor attraction), in the backdrop of the hills, woodlands, a quarry and industrial works.

**Predicted View**

The annotated panorama from Viewpoint 4 indicates that the proposed housing would be located behind a fragmented line of existing trees, road and dry stone wall at the end of the mid-ground. The proposed housing would be visible with the lower facades partially concealed by the dry stone wall, and upper facades and rooftops, filtered by the fragmented line of trees along the eastern site boundary. Without mitigation

the upper facades and rooftops of proposed houses would be visible above the dry stone wall. The proposed buildings would conceal some of the existing background elements such as the railway embankment but would leave the rest of the view unaltered due to the elevated nature of the viewpoint.

The viewpoint is part of a valued view, as it is located on the Pennine Journey strategic walking route. In the background of this view modern housing, traditional buildings and transport routes are already visible, albeit at a distance and therefore receptors are accustomed to see buildings in this view. The susceptibility to change of visual receptors to a proposed housing development would therefore be medium. It is predicted that with the value of the view assessed as high, visual receptor sensitivity overall would be high. However, considering the extent of housing already visible from this viewpoint and the size of the site in relation to this expansive panorama, the magnitude of change associated with the development of the existing field for housing is considered to be low, and therefore visual effects would be moderate and adverse in the short term, without landscape mitigation.

**Opportunities for Mitigation and Residual Effects**

The viewpoint panorama shows existing dwellings of a similar scale to those proposed and it is anticipated that the visual presence of buildings could be reduced by the careful selection of materials, setting dwellings back from the site boundary to accommodate new tree planting within the area of proposed housing and particularly along the eastern edge of the site. These measures have the potential to visually soften the facades and rooftops such that the magnitude of change would reduce to low-negligible.

With the landscape mitigation as proposed the development would bring about a low-negligible magnitude of change, resulting in slight and neutral visual effects in the longer term as the proposed landscape enhancements develop to maturity.

REVISION	DETAILS	DATE	DRAWN	CHK'D	APP'D
CLIENT	Langcliffe Hall Estate				
PROJECT	Town Head Way Settle				
DRAWING TITLE	Figure 8 Viewpoint 4 LVIA				
DRG No	NT13041/ Fig 8	SCALE	NTS	DATE	February 2017
DRAWN BY	BCM	CHECKED BY	DG	APPROVED BY	AR
<input type="checkbox"/> STOKE-ON-TRENT (HEAD OFFICE) TEL [REDACTED] <input type="checkbox"/> NEWCASTLE UPON TYNE TEL [REDACTED] <input type="checkbox"/> WEST BROMWICH TEL [REDACTED] <input type="checkbox"/> GREATER MANCHESTER TEL [REDACTED]					
your earth our world					



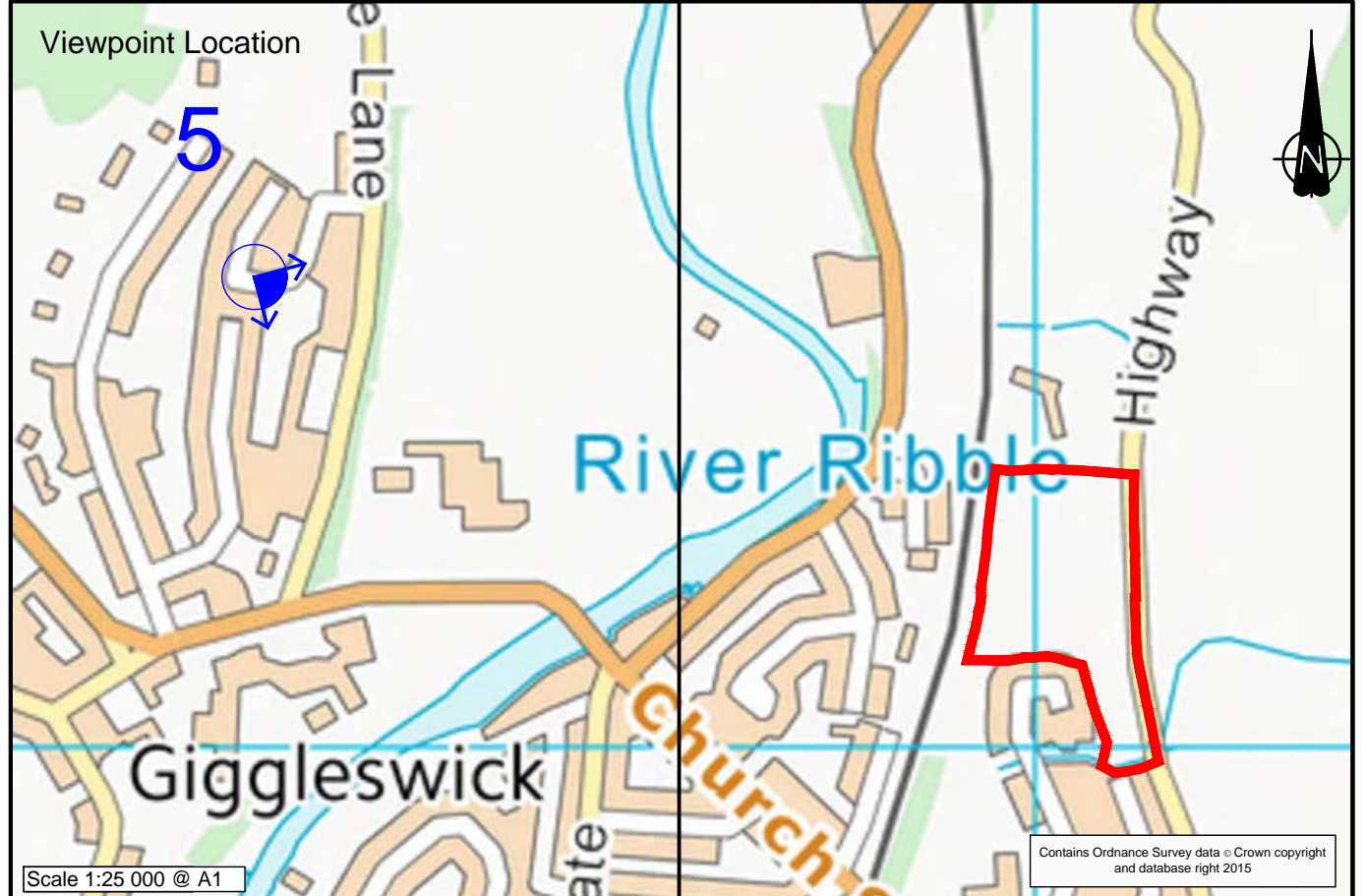
**Baseline Photograph Parameters**

Grid Ref	381421mE 464336mN
Elevation	145mAOD
Viewing Direction	120°
Distance to Development	550m
Camera Details	Nikon D8100 With Sigma Fixed 50mm Lens
Camera Height	1.5m
Time and Date of Image Capture	13:50 13th February 2017
Weather and Lighting Conditions:	Overcast and Clear

Horizontal Scale	6.1 mm per °
Horizontal Field of View	135°
Vertical Field of View	24.1°
Viewing Distance	348mm @ A1

Photograph used is a composite panoramic image using portrait images with a 15° interval stitched to create a cylindrical projection  
This image provides a landscape and visual context only

© Copyright Reserved



**Viewpoint 5 View East from Meadow Rise Giggleswick**

**Existing View**

Viewpoint 5 has been selected to represent the views of receptors across the valley looking from the west. During the fieldwork it was apparent that views from the strategic cycleway along Stackhouse Way would be heavily filtered by trees with the railway embankment also concealing the site. The viewpoint was therefore relocated to a more elevated location offering clear views over the railway embankment across to the site. The view is within the Yorkshire Dales National Park and is taken from a roadside footway within a housing estate where there is a mix of views from a small number of front windows but mainly from rear windows.

In the foreground is a road, pavements, lamp posts, garden hedges and trees, houses and motor vehicles. In the mid-ground are sports fields and the river corridor, marked by deciduous trees. In the background to the left the land rises up steeply, with copses of deciduous woodland, isolated farm settlements and pastoral fields. In the centre of the mid-ground the railway embankment is visible with a mill building and large chimney and there is a glimpse of the Barrel Sykes buildings to the left of the proposed site. The upper, eastern areas of the proposed site are visible, with the central and southern areas in the backdrop of existing housing, screened by the embankment and heavily filtered by trees along the river corridor. Beyond the site the land rises steeply to form hills with rocky outcrops divided by dry stone walls with sparse deciduous woodlands and trees.

**Predicted View**

The annotated panorama from Viewpoint 5 indicates that the proposed housing would be located beyond the embankment and also behind existing housing to the extent that only the areas of development in the higher eastern areas of the site would be visible. In this view, the development of the site would extend housing to the north from Town Head Way to align with the housing already visible on the west side of the embankment.

Rooftops would not extend eastwards or be higher than the extent of existing housing in Town Head Way.

As the viewpoint is from a modern housing estate it is of medium value but represents a worst case visibility scenario when viewing the site from the west. In the background residential properties are visible, albeit distant and therefore buildings are already a feature of this view. The susceptibility to change of visual receptors to a proposed housing development would therefore be medium/ low. It is therefore predicted that visual receptor sensitivity overall would be medium. Considering the amount of housing that would be visible in the wider view, the magnitude of change associated with the development of the existing fields in the distance for housing, is considered negligible, and therefore visual effects would be slight and adverse in the short term, without landscape mitigation.

**Opportunities for Mitigation and Residual Effects**

The viewpoint panorama shows existing dwellings of a similar scale to those proposed and it is anticipated that the visual presence of buildings could be reduced by the choice of materials, setting back the proposed dwellings from the site boundary to allow space to accommodate new planting within the proposed housing. The inclusion of a landscape buffer within the visible, upper areas of the site, in gardens and in the streetscape would visually soften proposed facades and rooftops such that the magnitude of change would remain as negligible.

With the landscape mitigation proposed the development would bring about a negligible magnitude of change resulting in slight and neutral visual effects in the longer term as the proposed landscape enhancements develop to maturity.

REVISION	DETAILS	DATE	DRAWN	CHK'D	APP'D
CLIENT	Langcliffe Hall Estate				
PROJECT	Town Head Way Settle				
DRAWING TITLE	Figure 9 Viewpoint 5 LVIA				
DRG No	NT13041/ Fig 9	SCALE	NTS	DATE	February 2017
DRAWN BY	BCM	CHECKED BY	DG	APPROVED BY	AR
<input type="checkbox"/> STOKE-ON-TRENT (HEAD OFFICE) TEL [REDACTED] <input checked="" type="checkbox"/> NEWCASTLE UPON TYNE TEL [REDACTED] <input type="checkbox"/> WEST BROMWICH TEL [REDACTED] <input type="checkbox"/> GREATER MANCHESTER TEL [REDACTED]					
your earth our world					



STOKE-ON-TRENT  
Sir Henry Doulton House  
Forge Lane  
Etruria  
Stoke-on-Trent  
ST1 5BD  
Tel: [REDACTED]

CARDIFF  
22 Windsor Place  
Cardiff  
CF10 3BY  
Tel: [REDACTED]

EDINBURGH  
Suite 2/3  
Great Michael House  
14 Links Place  
Edinburgh  
EH6 7EZ  
Tel: [REDACTED]

GREATER MANCHESTER  
2 The Avenue  
Leigh  
Greater Manchester  
WN7 1ES  
Tel: [REDACTED]

LONDON  
Third Floor  
46 Chancery Lane  
London  
WC2A 1JE  
Tel: [REDACTED]

NEWCASTLE UPON TYNE  
City Quadrant  
11 Waterloo Square  
Newcastle upon Tyne  
NE1 4DP  
Tel: [REDACTED]

SHEFFIELD  
Unit 5  
Newton Business Centre  
Newton Chambers Road  
Thorncliffe Park  
Chapelton  
Sheffield  
S35 2PH  
Tel: [REDACTED]

TAUNTON  
Suite E1  
Victoria House  
Victoria Street  
Taunton  
Somerset  
TA1 3JA  
Tel: [REDACTED]

TRURO  
Baldhu House  
Wheat Jane Earth Science Park  
Baldhu  
Truro  
TR3 6EH  
Tel: [REDACTED]

WEST BROMWICH  
Thynne Court  
Thynne Street  
West Bromwich  
West Midlands  
B70 6PH  
Tel: [REDACTED]

**International offices:**

ALMATY  
29/6 Satpaev Avenue  
Hyatt Regency Hotel  
Office Tower, 7th Floor  
Almaty  
Kazakhstan  
050040  
Tel: [REDACTED]

MOSCOW  
Suite 2, Block 10  
Letnikovskaya Street  
Moscow  
Russia  
115114  
Tel: [REDACTED]

**Wardell Armstrong  
Archaeology:**

CUMBRIA  
Cocklakes Yard  
Carlisle  
Cumbria  
CA4 0BQ  
Tel: [REDACTED]

SHAFTESBURY  
Unit 3  
Chaldicott Barns  
Tokes Lane  
Semley  
Nr. Shaftesbury  
SP7 9AW  
Tel: [REDACTED]

**From:** [REDACTED]  
**To:** [Local Dev. Framework](#)  
**Subject:** Local Plan Publication Stage Representation  
**Date:** 12 February 2018 17:52:07  
**Attachments:** [Craven LP Policy ENV5.pdf](#)  
[image001.gif](#)  
[image002.gif](#)

---

Please find attached the third of three completed representation forms submitted on behalf of our client, the Langcliffe Hall Estate. It relates to Policy ENV5 as it applies to Site SG079.

**[REDACTED] BSc FRICS FAAV ACI Arb**  
RICS Registered Valuer  
Partner  
For P Wilson & Company LLP

t: [REDACTED]  
f: [REDACTED]  
m: [REDACTED]  
e: [REDACTED]  
w: [www.pwcsurveyors.co.uk](http://www.pwcsurveyors.co.uk)

cid:680032415@08102013-2FC9



P Wilson & Company LLP is a limited liability partnership registered in England & Wales with registration number OC312492. This message may contain privileged and confidential information and is intended for the named recipient/addressee only. If you are not the named recipient/addressee you should not disseminate, distribute, copy or store this email or its attachment in any medium and should please notify the sender immediately and delete the email and its attachment (if any) from your systems. P Wilson & Company LLP does not accept any liability/responsibility for any changes to an email which occur after it has been sent and cannot guarantee that any attachments are virus free or compatible with other systems and these should therefore be checked prior to opening.

Our Terms of Business can be downloaded here [http://pwcsurveyors.co.uk/wp-content/uploads/2016/02/PWC\\_tc\\_v11.pdf](http://pwcsurveyors.co.uk/wp-content/uploads/2016/02/PWC_tc_v11.pdf)

# Craven Local Plan 2012-2032 (outside the Yorkshire Dales National Park)

## Publication Stage Representation Form

Publication draft Craven Local Plan public representations period runs from Tuesday 2<sup>nd</sup> January 2018 – Tuesday 13<sup>th</sup> February 2018.

Regulation19-Townand Country Planning (Local Planning) (England) Regulations 2012

---

**Representations must be received no later than 5pm on Tuesday 13<sup>th</sup> February 2018**

Please return completed forms to:

Planning Policy, Craven District Council, 1 Belle Vue Mills, Broughton Road, Skipton, North Yorkshire, BD23 1FJ

Or by email to: [localplan@cravencd.gov.uk](mailto:localplan@cravencd.gov.uk)

For further information please contact the Council's Planning Policy Team via email at the address set out above or telephone 01756 706472

---

This form has 2 parts: Part A for personal details and Part B for your representation(s). **Please fill in a separate form for each representation you wish to make.**

Please note each representation must be signed and dated

---

## Part A

### Section 1: Personal Details

<b>Title :</b>	
<b>First Name:</b>	
<b>Last Name:</b>	
<b>Job Title (where relevant):</b>	
<b>Organisation (where relevant):</b>	Langcliffe Hall Estate
<b>Address 1:</b>	Langcliffe Hall
<b>Address 2:</b>	Settle
<b>Address 3:</b>	North Yorkshire

<b>Address 4:</b>	
<b>Postcode:</b>	BD24 9LY
<b>Telephone:</b>	██████████
<b>Email:</b>	████████████████████

## Section 2: Agent Details

Please supply the name, address, telephone number and e-mail of any planning agent you have working on your behalf.

<b>Agent name:</b>	██████████
<b>Address:</b>	P Wilson & Company LLP Chartered Surveyors Burlington House 10-11 Ribblesdale Place Preston PR1 3NA
<b>Telephone number:</b>	██████████
<b>Email:</b>	████████████████████

## Part B

Please fill in a separate form for each representation

The Local Plan will be examined by an independent inspector whose role is to assess whether the plan has been prepared in accordance with the legal and procedural requirements, and whether it is sound.

## Section 3

<b>Name or Organisation:</b>	
<b>To which part of the Local Plan does this representation relate?</b>	
<b>Section and Paragraph</b>	Section 5
<b>Policy</b>	Draft Policy ENV5 – Site Ref: SG079
<b>Policies Map</b>	Inset 4

#### Section 4: Legal Compliance & Duty to Cooperate

Do you consider the Local Plan is: (tick as appropriate)		
	Yes	No
1. Legally Compliant	✓	
2. Sound		✓
3. In Compliance with the Duty to Cooperate	✓	

Please refer to the Council's representation guidance notes at

<http://www.cravenc.gov.uk/newlocalplan>

#### Section 5: Details of Representation

**Please give details of why you consider the Local Plan is not legally compliant or is unsound or fails to comply with the Duty to Cooperate. Please be as precise as possible.**

**If you wish to support the legal compliance or soundness of the Local Plan or its compliance with the Duty to Cooperate, please also use this box to set out your comments.**

- The proposed designation of a Green Infrastructure Area in connection with Site SG079 is neither justified nor effective.
- As a consequence, an unnecessary constraint is imposed on the capacity on Site SG079 (in respect of which a separate representation has been made).
- It is acknowledged that the layout and design of any development of that site will need to include appropriate landscape mitigation measures; however Draft Policy ENV1 addresses this requirement effectively. The designation of a Green Infrastructure Area to achieve the same end is therefore not justified.

(Continue on a separate sheet if necessary. Please remember to include on any separate sheets the name/organisation and details of which section, paragraph, policy or element of the policies map your representation relates)

#### **Section 6: Proposed Modifications to the local plan**

**Please set out what modification(s) you consider necessary to make the Local Plan legally compliant or sound, having regard to the test you have identified above where this relates to soundness. (NB Please note that any non-compliance with the Duty to Cooperate is incapable of modification at examination) You will need to say why this modification will make the Local Plan legally compliant or sound. It will be helpful if you are able to put forward your suggested revised wording of any policy or text. Please be as precise as possible.**

- The following modification to the text box following Paragraph (d) of Draft Policy ENV5 is required in order to make the Local Plan sound:

**'SP6: Settle**

**~~SG079 Land North of Town Head Way — 4'~~**

(ie delete reference to SG079)

(Continue on a separate sheet if necessary. Please remember to include on any separate sheets the name/organisation and details of which section, paragraph, policy or element of the policies map your representation relates)

**Please note** your representation should cover succinctly all the information, evidence and supporting information necessary to support/justify the representation and the suggested modification, as there will not be a subsequent opportunity to make further representations based on the original representation at publication stage.

After the representations period of the Publication Craven Local Plan has closed, further submissions will only be at the request of the Inspector, based on the matters and issues debated at the examination.

### Section 7: Participation at the Examination

**If your representation is seeking a modification, do you consider it necessary to participate at the oral part of the examination? (please select one answer with a tick)**

Yes, I wish to participate at the oral examination

✓

No, I do not wish to participate at the oral examination

**If you wish to participate at the oral part of the examination, please outline why you consider this to be necessary:**

There will need to be a thorough examination of the Council's justification for the imposition of a Green Infrastructure Area requirement on this site, which is likely to involve questioning of the Council's landscape representative.

--

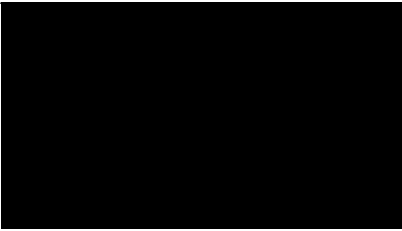
**Please note** the Inspector will determine the most appropriate procedure to adopt to hear those who have indicated that they wish to participate at the oral part of the examination.

**Section 8: Being Kept Informed**

<b>Would you like to be kept informed of the progress of the Craven Local Plan through to adoption? (please select one answer with a tick)</b>	
Yes, I want to be informed	✓
No, I don't want to be informed	

**Please note** that if you do not wish to be kept informed of the progress of the Craven Local Plan through to adoption, you will not receive any subsequent updates relating to the Local Plan examination etc.

**Section 9: Signature & Date of Representation**

<b>Please sign and date below:</b>	
Signature	
Date	12 February 2018

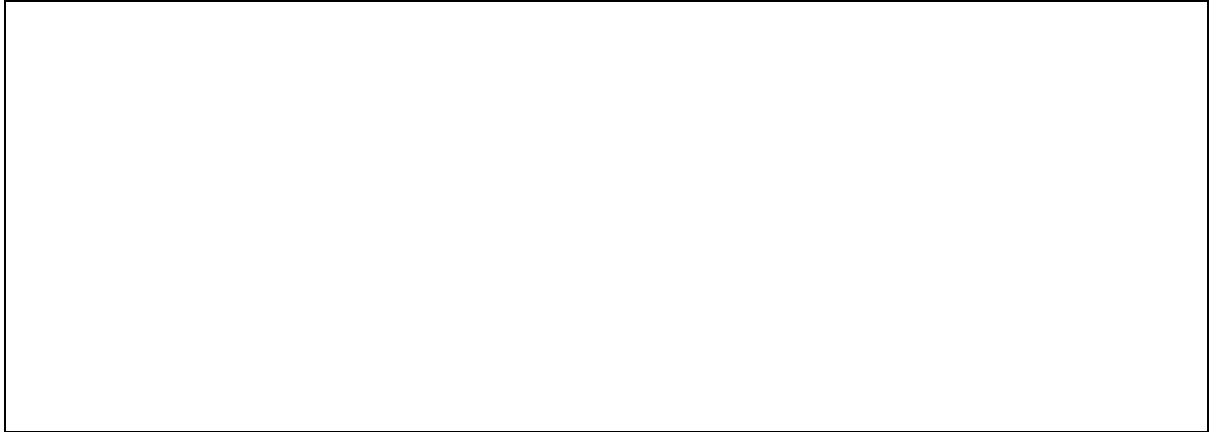
After the end of the representation period the Council will submit all individual representations received to the Secretary of State, together with a summary of the main issues raised during the representations period.

Information that you provide in your representation, including personal information, may be published or disclosed in accordance with the Environmental Information Regulations 2004 (EIR), or the Freedom of Information Act (FoIA). If you want the information that you provide to be treated as confidential, please tell us, but be aware that under the EIR and FoIA, we cannot guarantee confidentiality.

However, if you are submitting representations as an individual, the Council will process your personal data in accordance with the Data Protection Act 1998, and this means that if you request confidentiality, your personal information will not be disclosed to third parties.

<b>If you wish your personal details to be treated in confidence and not published please tick the box below:</b>	
I wish to request that the personal details submitted with this representation are treated in confidence and not published.	<input type="checkbox"/>
<b>Please explain below, why you have made this request:</b>	





**Craven District Council** | 1 Belle Vue Square | Skipton | BD23 1FJ |  
[www.cravenc.gov.uk](http://www.cravenc.gov.uk)

Planning Policy Team | 01756 706472 | [localplan@cravenc.gov.uk](mailto:localplan@cravenc.gov.uk)



INVESTOR IN PEOPLE



**If you would like to have this information in a way that's better for you, please  
telephone 01756 700600.**